

Historic District Review Board

Special Meeting Agenda

**Cape Charles Civic Center
via Electronic Communications
April 30, 2020 2:00 P.M.**

1. Call to Order; Roll Call
2. Public Comment re: Agenda Items Only
3. Special Meeting Order of Business
 - A. Application for a Certificate of Appropriateness to construct a new detached garage at 648 Monroe Avenue – tax map #83A3-1-326.
 - B. Application for a Certificate of Appropriateness to renovate a former church building at 301 Madison Avenue – tax map #83A1-1-195
4. Adjourn



HISTORIC DISTRICT REVIEW BOARD

STAFF REPORT

Meeting Date: April 30, 2020

Item #: 3A

Prepared By: Jeb Brady – Building Official

Site Address: 648 Monroe Avenue

Applicant: Patrick Prendergast

Owner: Same as above

Proposed Development: Building a 20'x24' Detached Garage behind residence.

Current Zoning: Single-Family Residential (R-1): This zoning district is intended to provide quiet, medium density, single-family residential development plus provide open areas where similar residential development appears likely to occur. The regulations for this district are designed to stabilize and protect the essential characteristics of the district, to promote and encourage a suitable environment for family life where there are children, and to restrict all activities of a commercial nature as described in Section 3.6-A of this ordinance, known as Commercial District C-1, which states "These commercial activities are characterized by heavy traffic, noise, and congestion of people and passenger vehicles and by large office buildings and retail establishments," and to promote a convenient, attractive, and harmonious community. This section is created in recognition of the existence of developed areas where single-family and duplex dwelling currently exist on lots of 5,600 square feet and where the characteristics of the neighborhood include both permanent as well as seasonal residents.

Historic District Overlay: The purpose of this district is to provide for protection against destruction or encroachment upon historic areas, buildings, monuments, or other features, or buildings and structures of recognized architectural significance which contribute or will contribute to the cultural, social, economic, political, artistic, or architectural heritage of the Town of Cape Charles and the Commonwealth of Virginia. It is the purpose of the district to preserve the designated

historic areas and historic landmarks and other historic or architectural features, and their surroundings within a reasonable distance, from destruction, damage, defacement, and obvious incongruous development or uses of land and to ensure that buildings, structures, streets, walkways, or signs shall be erected, reconstructed, altered, or restored so as to be kept architecturally compatible with the character of the general area in which they are located and with the historic buildings or structures within the district.

Description of Proposed Project:

The applicant is proposing to construct a 20'x24' Detached Garage behind residence. The materials proposed are as follows:

- Demolish existing accessory building
- Slab on Grade Foundation
- Hardi-Plank siding
- Composite trim
- Windows show six-over-six but in pre application meeting applicant stated they wanted to use 1-over-1 double hung windows.
- Side elevation shows window and door but applicant wants to do a double door with a window on each side of the door.
- The roof will be architectural shingles.

Staff Analysis:

Any property within the Historic District Overlay is required to meet the Historic District Guidelines, which are superimposed on the underlying zoning district regulations.

The Historic District Guidelines and new-construction or addition projects:

The major intent of in-fill development should be that of a good neighbor, respect for the site, sensitivity to the historic homes in the neighborhood and taking into account the overall character of the neighborhood (p. 22). In-fill buildings must be compatible with the distinctive architectural character of the district (p. 22). The height, form, massing, proportion, size, scale, and roof shape should first be reviewed when considering the overall compatibility of the proposed structure (p. 22). Design new buildings so that they are compatible with but discernible from historic buildings in the district (p. 23). New buildings should be compatible with the size, scale, color, material and character of the District, sub-area or block (p. 23). It is essential that new construction in the Historic District reflect the integrity of design details and materials which help form the District's character (p. 23).

The proposed project meets the Guidelines for new-construction projects by being compatible with the surrounding District, sub-area, or block. There are existing new-construction detached garages in the Historic District that are the same style as the proposed project.

The Historic District Guidelines state the following for foundations:

Ensure that water flows away from the foundation, and remove any vegetation that may damage the structure or foundation (p. 35). In new construction, distinguish the foundation from the rest of the building (p. 35). Respect the height above grade of foundations on surrounding historic buildings (p. 35). Use brick or parged block for the foundations of frame residences (p. 52).

The proposed foundation is slab on grade and there will be minimal foundation showing (if shown will advise the applicant that at minimum it must be parged, which meets the Guidelines.

The Historic District Guidelines state the following for roofs:

For new construction, respect the roof type, materials, form, and slope of roofs of nearby historic buildings (p. 37). Do not add new elements such as vents, sky-lights, or additional stories that would be visible on the primary elevations of the building (p. 37).

The proposed roof meets the Guidelines.

The Historic District Guidelines state the following for windows and doors:

Particular attention should be given to the spacing, placement, scale, orientation, and size of window and door openings as well as the design of the doors and windows themselves (p. 22). Select windows and doors for proposed new buildings that are compatible in material, subdivision, proportion, pattern, and detail with the windows and doors of surrounding buildings that contribute to the special character of the district (p.23). Windows and doors should be placed in a manner that is harmonious with the District, subarea or block (p. 23). For new construction, use window and door styles that relate to those found in the district (p. 39). Windows styles vary by sash design primarily, but elements such as sills, lintels, decorative caps, and shutters should also be respected (p. 39). Double-hung window sash, the most common type of window, vary by the number of panes in each sash (p. 40). Inappropriate modern replacements for double-hung sash include one-over-one sash or a single pane with snap-in muntins (p. 40). Construct new windows and doors of wood or metal and match the style of the building (p. 42). Respect the ratio of walls to openings (windows and doors) evident on adjacent historic facades (p. 42). Place windows and doors on the facades of new buildings

in a rhythm or pattern that relates to the way that openings are placed on historic buildings (p. 42). Use proportions (horizontal or vertical) that are similar to and compatible with the proportions of windows and doors on surrounding historic facades (p. 42).

The proposed windows of 1-over-1 would match the existing residence and seem to meet the Guidelines.

The Historic District Guidelines state the following for siding and trim:

The selection of appropriate exterior materials and finishes depends on the understanding of the compatibility of proposed materials and finishes in composition, pattern, texture, color, and sheen (p. 22). The selection of materials and textures for a new building should be compatible with and complement neighboring buildings (p. 23). Synthetic sidings such as vinyl, aluminum and synthetic stucco-like finishes are not historic cladding material in the District and their use will not be allowed (p. 23). New construction should not attempt to create features that would create a false historical appearance (p. 23). New construction should incorporate materials similar to those used traditionally in the historic structures in the area (p. 23). Materials used in new construction should be in units similar in scale to those used historically (p. 23). Consider using wood as the dominant cladding and decorative material for new construction (p. 54). Synthetic sidings such as vinyl, aluminum and stucco-like material are not historic cladding materials and do not contribute to the historic and architectural character of the district (p. 57). The use of synthetic siding such as HardiPlank or similar on new buildings within the historic district is allowed (p. 57). Review the historic and architectural significance of surrounding buildings when determining the weather exposure of siding on new buildings (p. 57). Siding that simulates wood may be used on new construction if the depth of the siding (boards) conforms to the typical depth of traditional siding (p. 57). The use of synthetic siding on contributing structures will only be permissible if the structure is currently clad in vinyl, aluminum, and stucco-like siding and is the subject of a major addition (p. 57). The definition of synthetic siding is as follows: “any siding made of vinyl, aluminum, or other metallic material to resemble a variety of authentic wood siding types.”

The proposed siding meets the Guidelines.

Staff Recommendation:

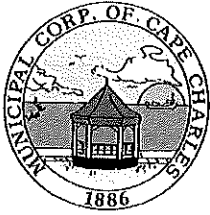
Town Planner position is vacant.

The Historic District Review Board makes the final determination on whether a Certificate of Appropriateness will be issued for this project and may impose conditions on an approval.

Attachments:

Attachment 1 – Application and Documents

Attachment 2 – Location Map



PRE-APPLICATION INFORMATION FORM

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

APPLICANT INFORMATION

Name: Patrick Prendergast

Mailing Address: 19701 Eanes Road

Phone Number: 804-564-6563 Email: LJPandPAP@comcast.net

PROJECT SUMMARY

Address of Project: 648 Monroe Ave Cape Charles VA 23310

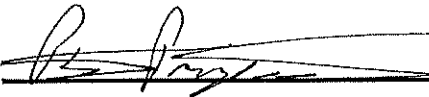
Application Type (rezoning, variance, etc.): Certificate of Appropriateness/Building Permit

Total Acreage of Project: Lot 326

Detailed Description (Include proposed use(s) and square footage of floor area for each use):
Build a 20' x 24' Detached Garage behind residence at 648 Monroe.

Building will be 480 sq ft on main level and <480 sq ft in attic.

See attached draft application for site plan, photos of property, , and building plans.

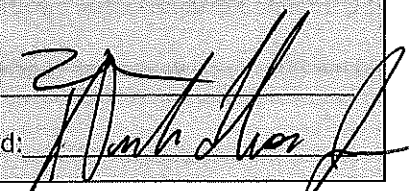
Signature of Applicant: 

Date: 1/27/2020

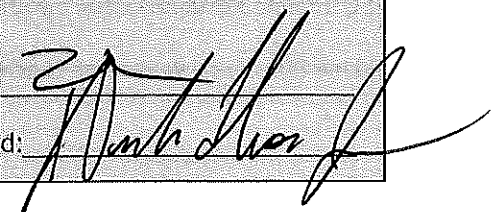
For Internal Use Only:

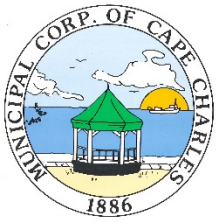
Pre-Application Meeting Date: 2/4/20

Staff Printed Name: ZACH POWDS

Signed: 

HDRB Rep Printed Name: HERB THOM

Signed: 



Municipal Corp. of
Cape Charles

Pre-Application Meeting Minutes

Project Address: 648 Monroe Avenue

Project Description: New detached garage

Pre-Application Meeting Date: 02/04/2020

Attendees:

	Name	Title	Contact Information
1.	Zach Ponds	Town Planner	planner@capecharles.org; 757-331-2036
2.	Herb Thom	HDRB Representative	
3.	Pat Prendergast	Applicant/Owner	ljpandpap@comcast.net; 804-564-6563

Historic District Guideline references that the Historic District Review Board may consider at the regular meeting were discussed, including but not limited to, the following:

- This project is a demolition of an existing non-conforming shed and the construction of a new 1.5 story garage.
- The plans submitted for the pre-application meeting were generic plans showing an overall description of what could be built – it does not reflect exactly what the applicant would like to build. The plans need to be edited to reflect exactly what the applicant would like to build for the application submittal.
- The applicant stated the siding will be hardi lap siding.
- The windows show six-over-six on the plans, but the applicant stated they would likely edit the plans to show one-over-one windows, double-hung. The applicant stated they will use composite trim.
- The plans show a door and window on the side elevation, but the applicant stated they would like a double door, big enough to fit a golf cart, on the rear elevation (closest to the house) and two windows on each side of the doors (standard-size windows).
- The applicant stated the garage door will likely have a window at the top of the door.
- The roof will be architectural shingles.



CERTIFICATE OF APPROPRIATENESS APPLICATION

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

PERMIT CHECKLIST - all documents can be emailed to the above email

- | | |
|---|--|
| ☒ Completed application | ☒ Photos/elevations of existing structure |
| ☒ Letter of intent clearly explaining project | ☒ Photos/elevations of proposed project |
| ☒ Existing site plan or survey | ☒ Proposed materials/spec sheets, samples |
| ☐ Proposed site plan or survey (if applicable) | ☒ Payment of fees (new construction >2,000 square feet \$500; new construction up to 2,000 square feet \$300; all other \$150; modification \$250) |

PROPERTY INFORMATION

Name of Project: 648 Monroe Ave Detached Garage
Property Address: 648 Monroe Ave Cape Charles VA 23301
Brief Description of Project: Detached Garage on Alley behind residence
Zoning District: HD Current Use: R-1 Proposed Use: R-1

OWNER INFORMATION

Name and Company: Patrick Prendergast
Mailing Address: 19701 Eanes Rd South Chesterfield VA 23803
Phone Number: 804-564-6563 Email: LJPandPAP@comcast.net

APPLICANT INFORMATION

☒ check here if applicant is owner

Name: _____
Mailing Address: _____
Phone Number: _____ Email: _____

CERTIFICATION OF APPLICANT

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

Signature of Applicant: _____

Date: Jan 22, 2020

Note: There is a required 30-day wait period between approval of a Certificate of Appropriateness and issuance of the permit for construction.

February 27, 2020

Town of Cape Charles Planning

Subject: Letter of Intent to Build Detached Garage behind Residence at 648 Monroe Ave

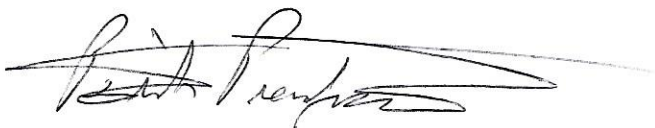
Dear Sirs;

This letter is to provide notice of my intent to build a detached garage behind my residence at 648 Monroe Avenue and obtain the necessary approval and certificate of appropriateness. The 20' x 24' garage will be located on the alley between Tazewell Ave. and Monroe Ave. as shown in the attached markup of the plat. The garage will be between the 2 existing garages of the adjacent properties. The garage will be 1 story with a walk-up attic space under the roof. Siding will be hardiplank lap siding. Windows will be double hung windows with 1 over 1 lights similar to those on house. Trim will be Aztec trim. Shingles will be architectural shingles like those on main house. I have enclosed the following:

- Plat and survey of lot 326 with mark-up showing proposed garage
- Photos of the residence and area where garage will be located (replacing existing shed)
- Plans with elevations, specifications, and materials list for proposed garage.
- Application form for Certificate of Appropriateness
- Payment for application fee.

Please contact me for any additional information required.

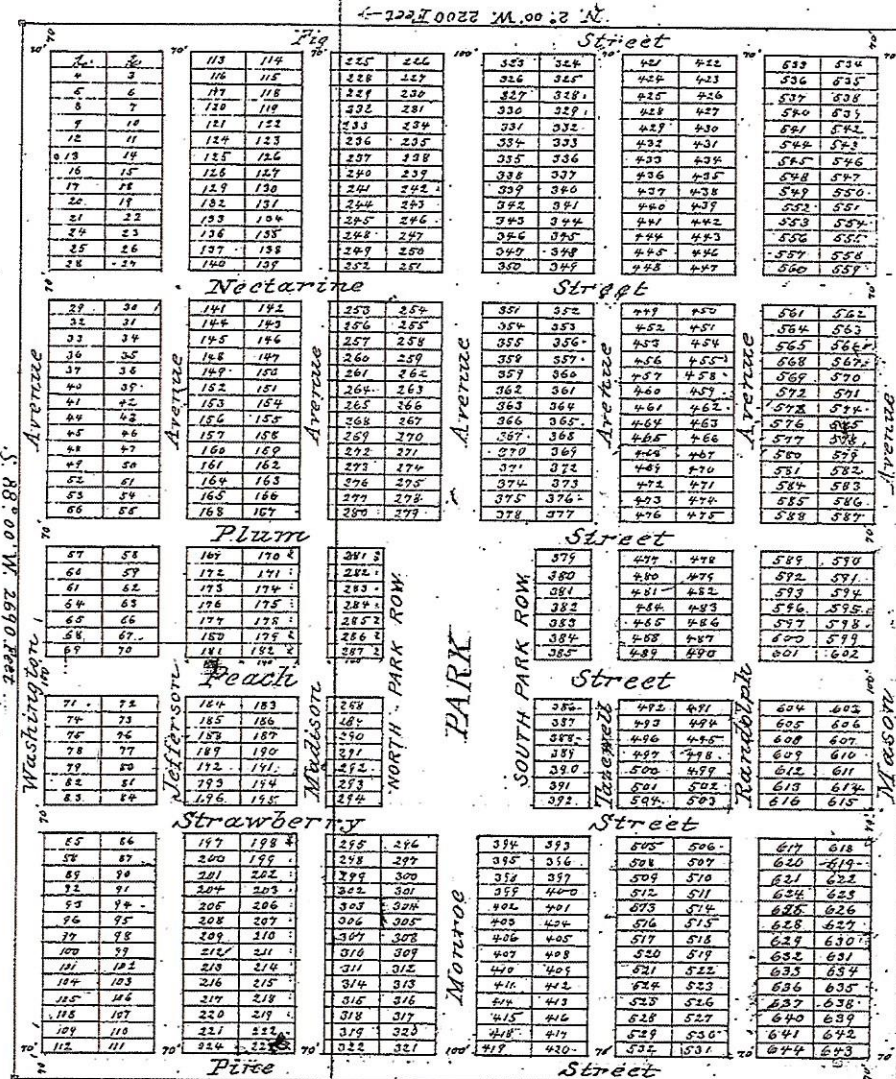
Sincerely;

A handwritten signature in black ink, appearing to read "Patrick Prendergast", with a long horizontal flourish extending to the right.

Patrick Prendergast

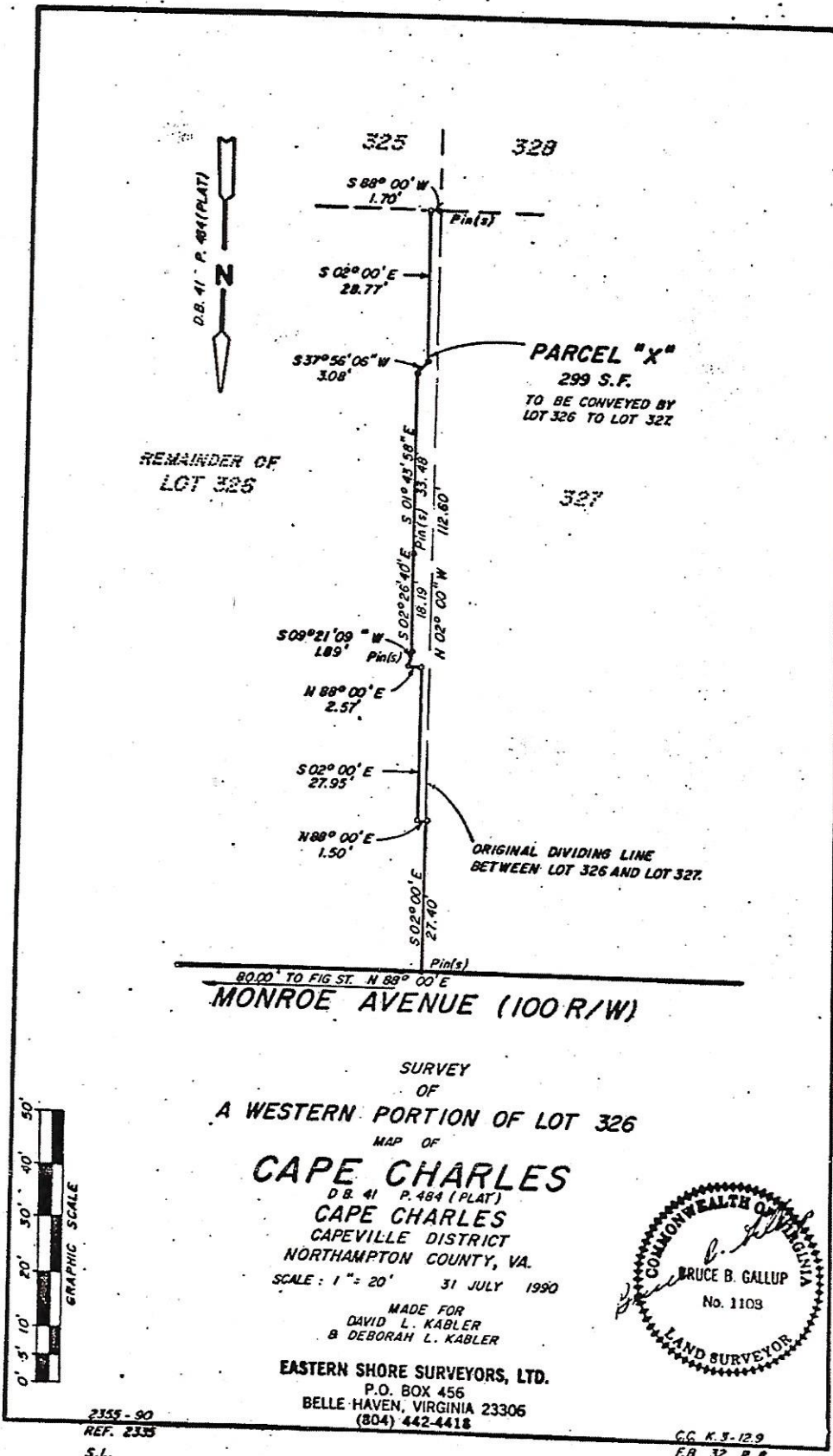
E-mail: LPandPAP@comcast.net

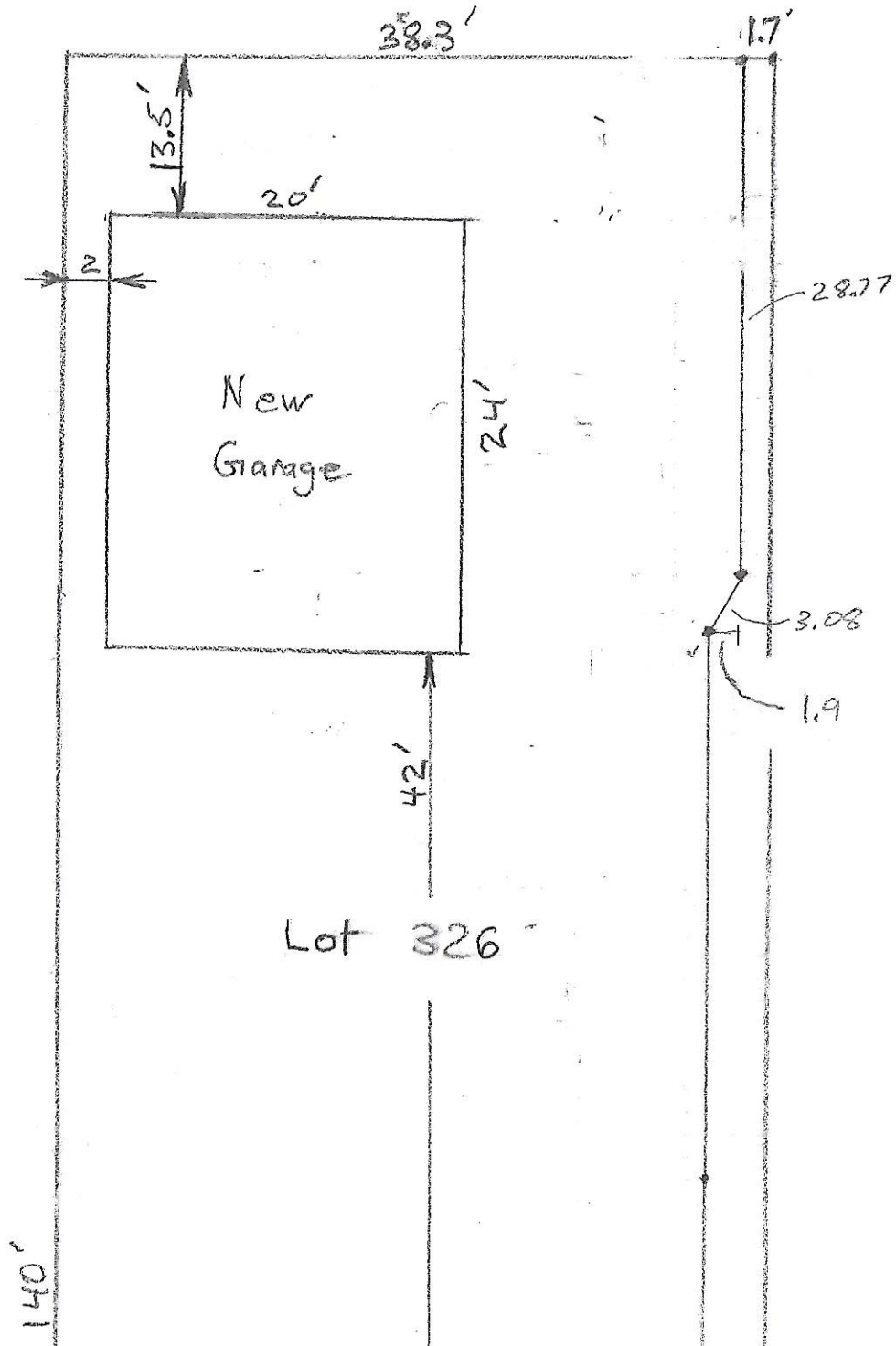
Phone: 804-564-6563

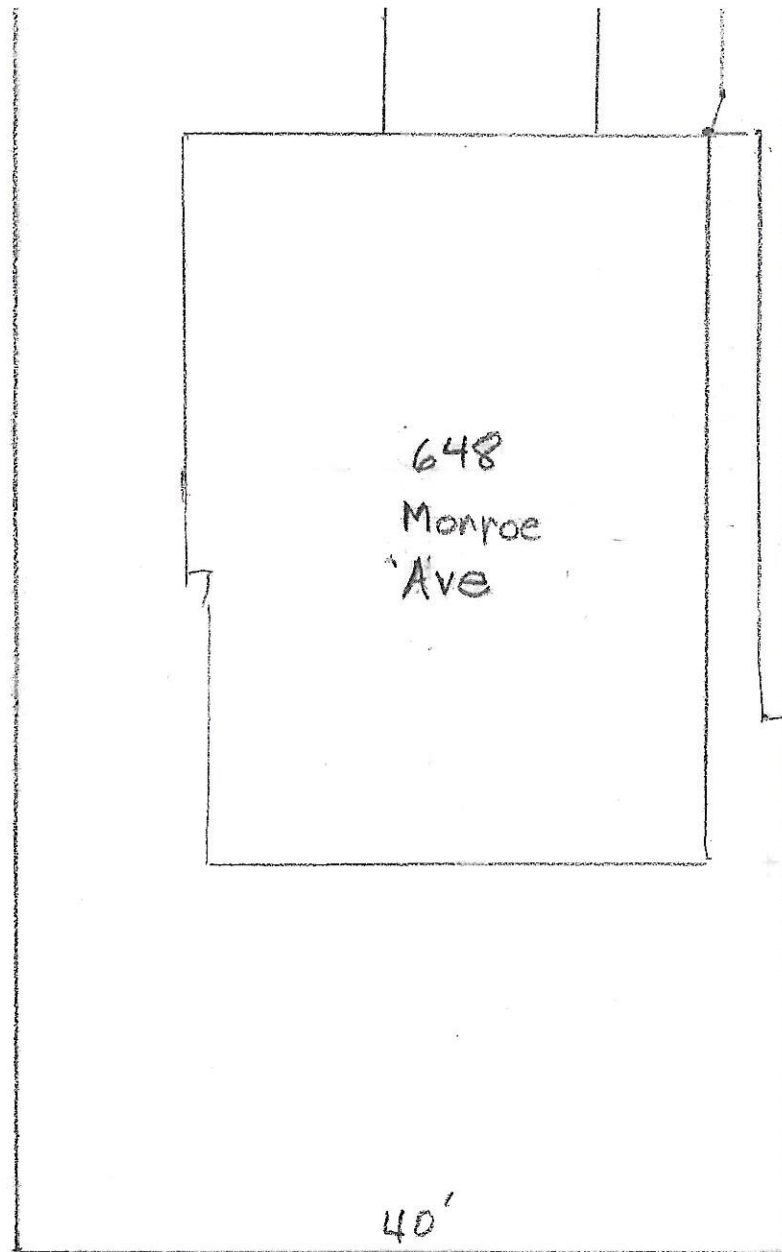


Map
of the Town of Cape Charles
Northampton County, Virginia

Low Water Line
Cherrystone Inlet







Monroe Ave

77.5





Building Materials List for Behm Design Plan # 480-1a

www.behmdesign.net

1-800-210-6776

~ Local building code approved substitutions may be made to this list ~
Variations in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials package is finalized and/or shipped.

Rough Framing

2 x 4 x 115-1/2" HF/DF "stud" wall framing	89 pcs.
2 x 4 x 96" HF/DF "stud" wall framing	22 pcs.
2 x 4 HF/DF No. 2 wall top plate material	288 lf
2 x 4 x 144" HF/DF No. 2 lockouts material	4 pcs.
2 x 4 HF/DF No. 2 pressure-treated bottom plate	88 lf
3-1/2 x 11-1/4 LVL Header 2950Fb 2.0E	19'-9" length --- 1 pc.
2 x 6 DF No. 1 Header	8' length --- 2 pcs.
2 x 6 DF No. 1 Header	10' length --- 2 pcs.
2 x 4 HF/DF No. 2 wall blocking material	144 lf
2 x 8 HF/DF No. 2 rafters	16' length --- 26 pcs.
2 x 10 HF/DF No. 2 ceiling joists	20' length --- 24 pcs.
2 x 10 HF/DF No. 2 ridge board material	26 lf
2 x 3 soffit framing material	78 lf

Sheathing Materials

7/16" o.s.b. wall sheathing	4 x 8 sheet --- 31 sheets
15/32" Roof C-D APA Plywood, ext. glue P.I. 24/0	4 x 8 sheet --- 28 sheets

Vapor Barrier

Roof 15# bituminous felt paper in 36" wide roll	324 lf
Wall 7# bituminous felt paper in 40" wide roll	350 lf
Floor .006" black polyethylene membrane	480 sf

Siding Materials

8' textured o.s.b. siding boards with 1" lap	928 sf siding area
Trim: 5/4 x 3 (<for alt. siding, use 1x thick trims)	10' length --- 4 pcs.
Trim: 5/4 x 4	8' length --- 11 pcs.
Trim: 5/4 x 4	17' length --- 1 pc.
Trim: 5/4 x 4	10' length --- 4 pcs.
Fascia: 1 x 6	52 lf
Rakeboard: 2 x 6	16' length --- 4 pcs.

Roofing Materials

Composition Roofing Shingles	808 sf roof area
Ridgevent material	24 lf

Window and Door Assemblies

4030 sliding window(s)	4 ea.
2640 single hung window	4 ea.
16'-0" x 8'-0" sectional garage door	1 ea.
3068 exterior door	1 ea.

Metal Parts & Misc.

Anchor bolts: 1/2" dia. x 10" ASTM A-307 w/ hex nuts	15 pcs.
Flat washer for 1/2" dia: 2" square x 3/16" thick stl. pl.	15 pcs.
Anchor bolts: 5/8" dia. x 14" ASTM A-307 w/ hex nuts	2 pcs.
Flat washer for 5/8" dia: 2" square x 3/16" thick stl. pl.	2 pcs.
Simpson H2.5 connectors	22 pcs.
Simpson STHD14 hold-down straps	4 pcs.
Simpson MST24 nailing strap	2 pcs.
16d sinker nails	50 lbs.
8d common nails @ 145 nails / lb.	30 lbs.
Drip flashing for window/door heads	30 lf
2" cont. soffit vent screen strip	48 lf

~ To advise corrections, call 1-800-210-6776 Thank you.~

(note: electrical components and finishing materials not included in this list)



GARAGE PLAN #480-1a

20' w x 24' d - 10' Walls

Building Code Compliance

This planset was prepared to comply with the prescriptive requirements of the 2015 International Residential Code (IRC)

Parameters For Design

Wind Speed: 130 mph Ultimate

Wind Exposure: D

Seismic Category: A, B and C

Snow Load: 30# / sq. ft.

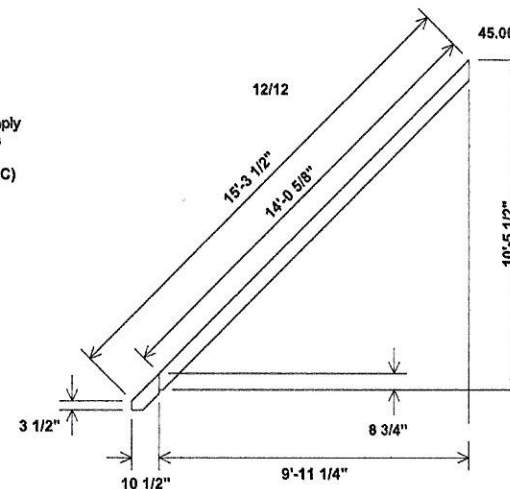
Building Categories and Data

Occupancy Classification: "U"

Construction Type: "V"

Grade-To-Ridge Height: 20'-10"

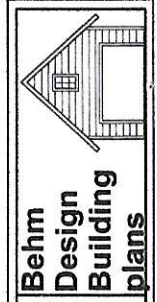
Gross Building Area: 480 sf



Rafter Profile

Slope = 12/12 (45.0°)
Run = 10'-0"
Ridge Allowance = 3/4"
Adjusted Run = 9'-11 1/4"
Overhang = 10'-11 1/4"
Heel = 8 3/4"
Seat = 1 1/2"

Rafter = 1 1/2" x 7 1/4"
Ridge = 1 1/2" x 9 1/4"



QUESTIONS?...CA
LL
1-800-210-6776
www.behmdesign.com

480-1a

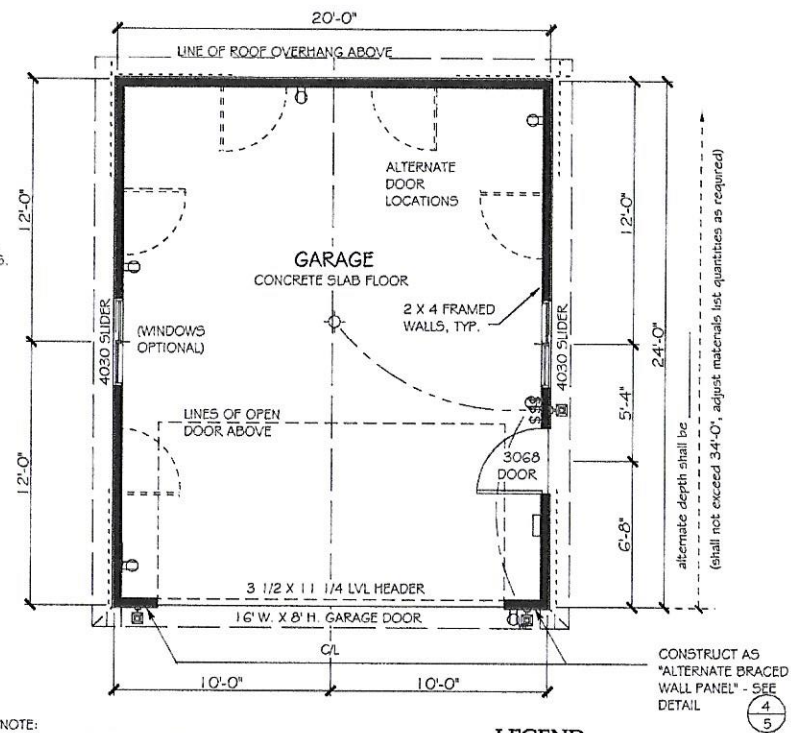
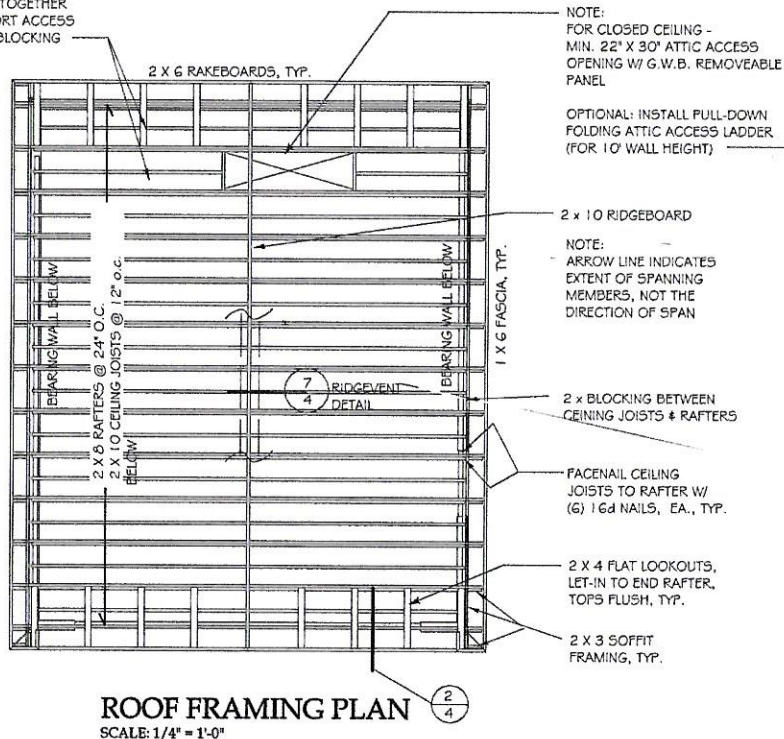
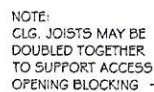
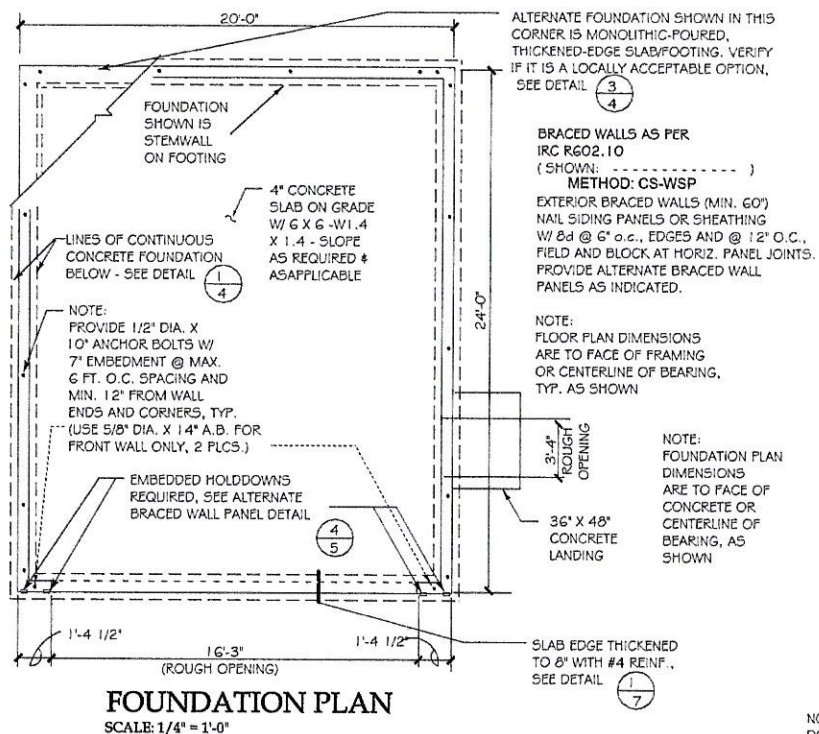
DESIGN BY: JB
DATE: 06/18
updated

SHEET CONTENTS:
Pictorial View Of Design
Project Data
Building Materials List

SHEET

1
OF 7

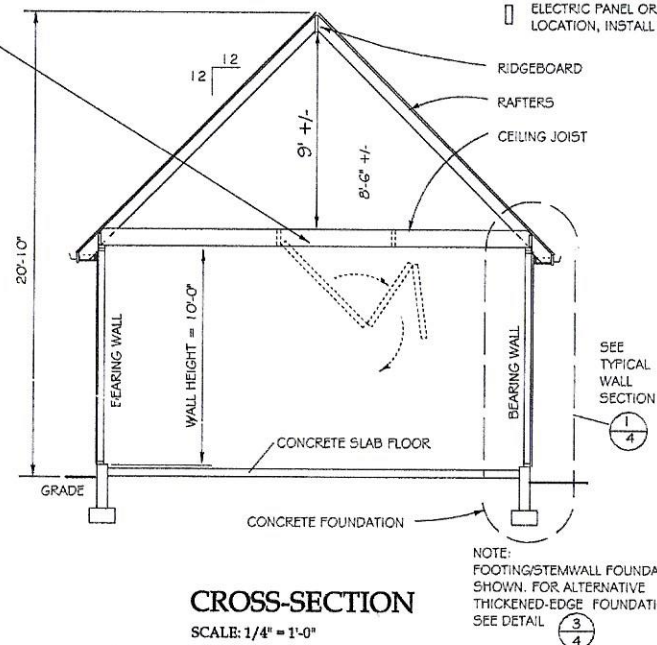
Copyright behm design



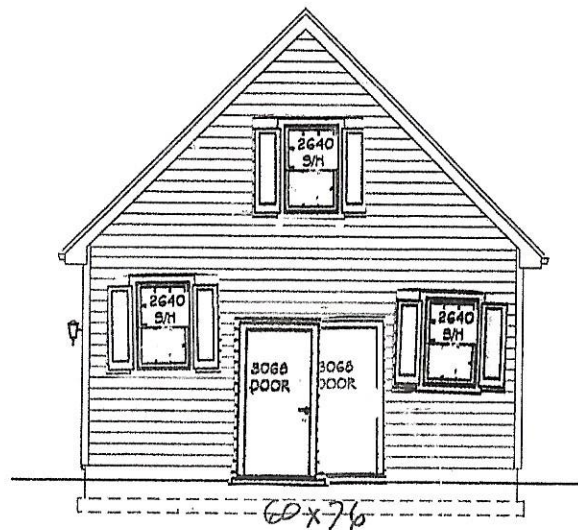
NOTE:
DOOR AND WINDOW HEADERS
SHALL BE 2- 2 X 6 UNLESS
OTHERWISE NOTED

LEGEND

- Ⓢ SWITCH LOCATION
- ☉ CEILING MOUNTED LIGHT FIXTURE
- Ⓜ 110 VOLT DUPLEX OUTLET
- 🏠 EXTERIOR WALL-MTD. LIGHT FIXTURE
- 📏 ELECTRIC PANEL OR SUB-PANEL LOCATION, INSTALL PER LOCAL CODES



NOTE:
FOOTING/STEM WALL FOUNDATION
SHOWN. FOR ALTERNATIVE
THICKENED-EDGE FOUNDATION
SEE DETAIL 3



REAR ELEVATION

SIDING:
8' X 7 1/2' TEXTURED O.S.B.
SIDING BOARDS, OVER 7# FELT
VAPOR BARRIER, OVER SHEATHING
(APPROVED ALTERNATE SIDING
MATERIALS MAY BE SUBSTITUTED)

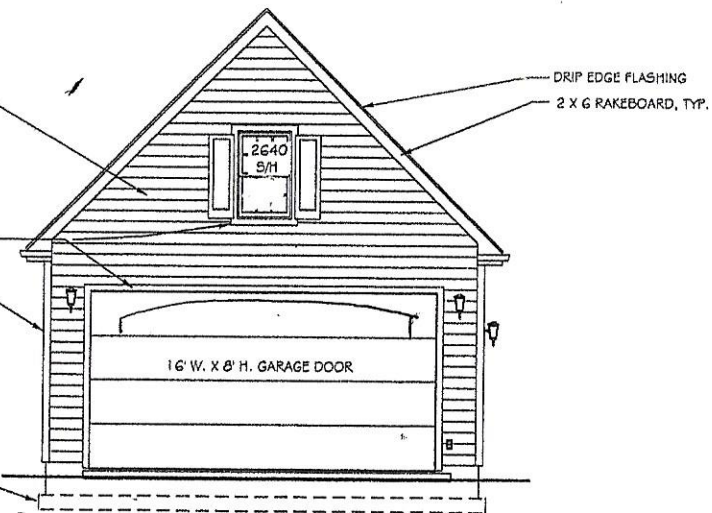
- ALTERNATE SIDING:
7 1/2' TEXTURED O.S.B SIDING
PANELS OVER 7# FELT
VAPOR BARRIER

5/4 X 4 WRAP TRIM - BUTT-
ANGLED ENDS

5/4 X 4 / 5/4 X 3 CORNER BOARDS

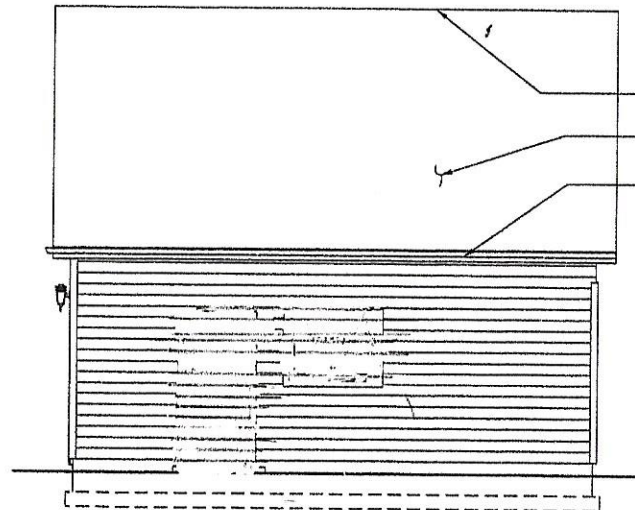
- NOTE:
FOR ALTERNATIVE SIDING
USE 1 X TRIM BOARDS - NAIL
OVER SIDING PANELS, TYP.

LINES OF FOUNDATION



FRONT ELEVATION

D RIP EDGE FLASHING
2 X 6 RAKEBOARD, TYP.



RIGHT SIDE ELEVATION
LEFT SIDE SIMILAR

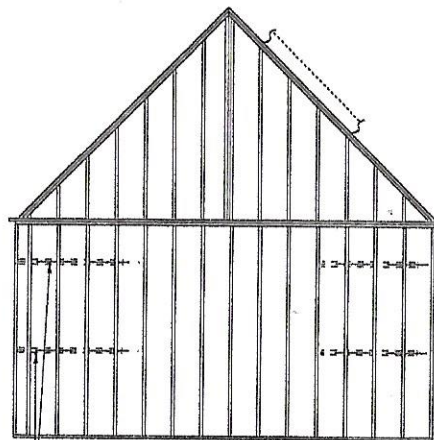
RIDGEVENT, CONT.
COMPOSITION ROOFING
1 X 6 FASCIA, TYP.

1/4" = 1'-0"

NOTE:
NOMINAL WINDOW SIZES ARE
SHOWN: FEET/INCHES WIDE
X FEET/INCHES HIGH, TYP. -
VERIFY FRAMED OPENING
REQUIRED BY PRODUCT MFR.

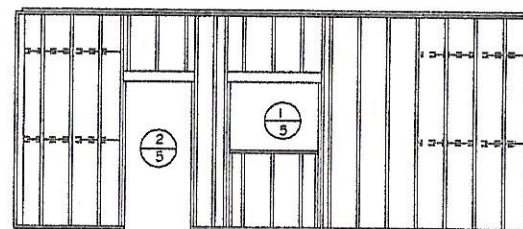
NOTE:
FLASH OPENINGS AND PROVIDE
WEATHERSTRIPPING AS REQUIRED
BY LOCAL CODES

NOTE:
NOTES AND MATERIALS INDICATED
IN THIS ELEVATION ARE TYPICAL
FOR ENTIRE BUILDING AS APPLIC.

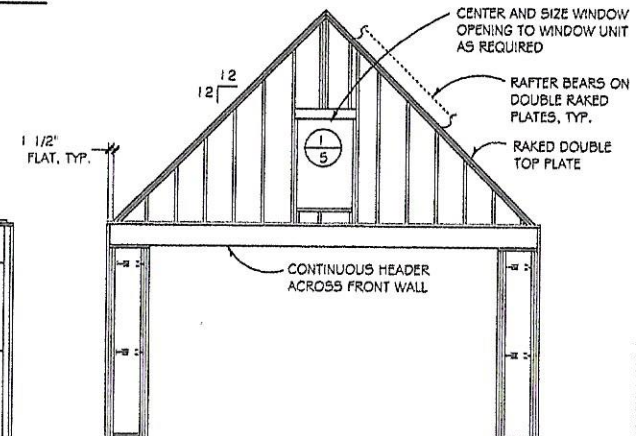


NOTE:
FOR HORIZONTALLY APPLIED WALL SHEATHING
PROVIDE BLOCKING BETWEEN STUDS FOR
PANEL EDGE NAILING AT BRACED WALLS

REAR WALL FRAMING ELEVATION



RIGHT SIDE WALL FRAMING ELEVATION
LEFT SIDE WALL SIMILAR

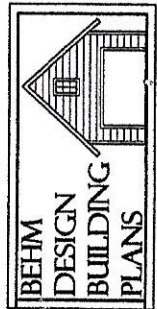


FRONT WALL FRAMING ELEVATION

CENTER AND SIZE WINDOW
OPENING TO WINDOW UNIT
AS REQUIRED

RAFTER BEARS ON
DOUBLE RAKED
PLATES, TYP.
RAKED DOUBLE
TOP PLATE

CONTINUOUS HEADER
ACROSS FRONT WALL



QUESTIONS? CALL
1-800-210-6776

WWW.BEHMDESIGN.COM

480-1a

PLAN NO.

DESIGN BY:
JB

DATE
01/11

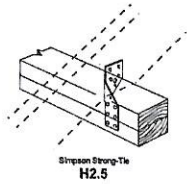
SHEET CONTENTS:
EXTERIOR ELEVATIONS
WALL FRAMING ELEVATIONS

SHEET

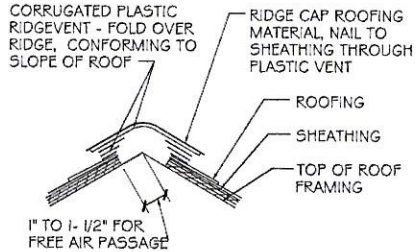
3

OF 7

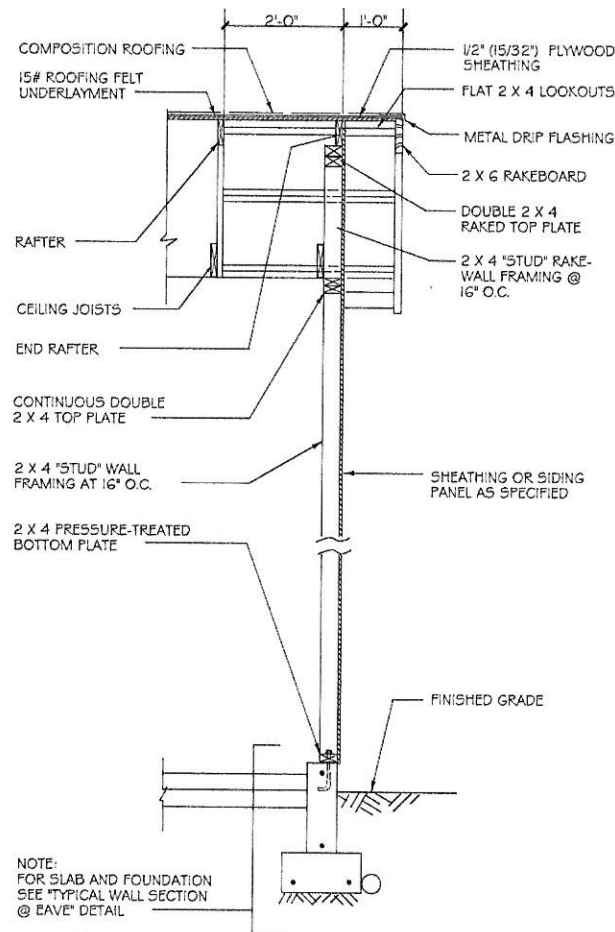
COPYRIGHT BEHM DESIGN



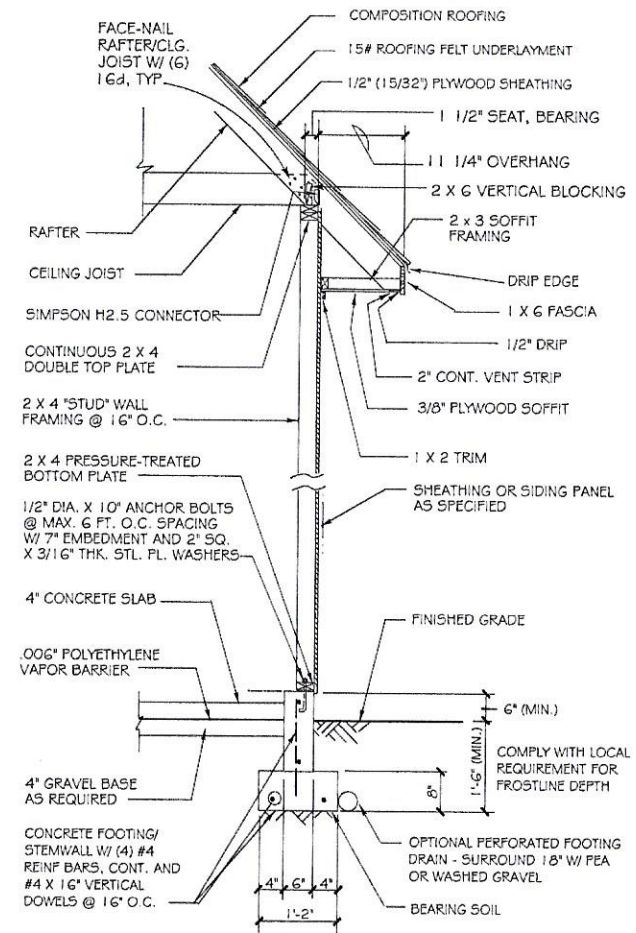
SIMPSON CONNECTORS



7 RIDGEVENT DETAIL

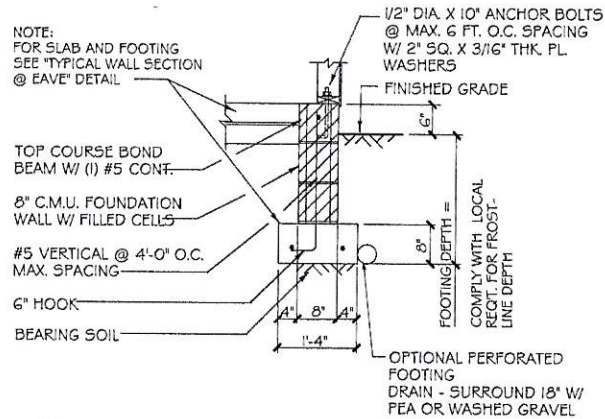


2 TYPICAL WALL SECTION @ GABLE

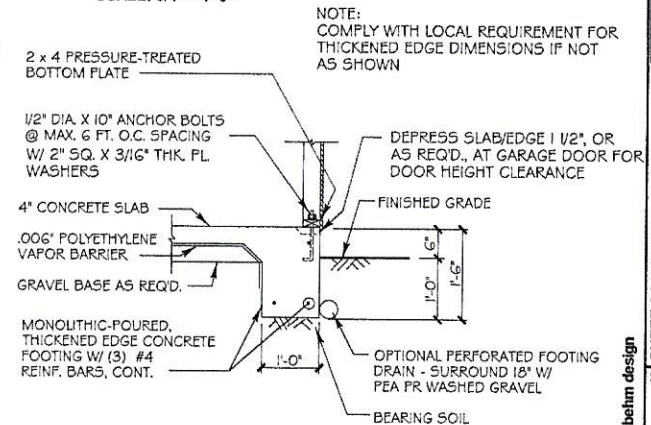


1 TYPICAL WALL SECTION @ EAVE

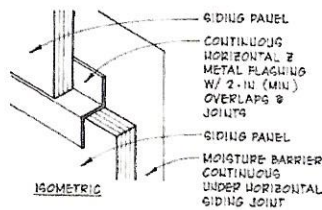
SCALE: 3/4" = 1'-0"



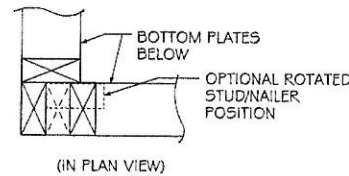
4 BLOCK FOUNDATION WALL DETAIL



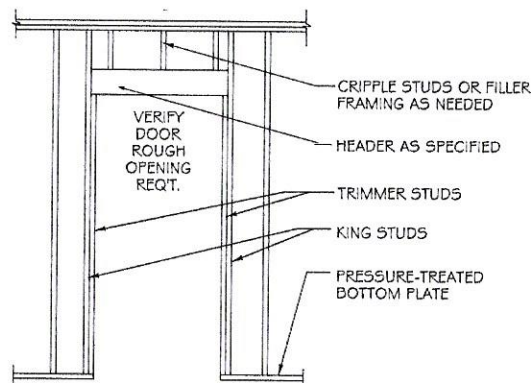
3 MONOLITHIC FOOTING DETAIL



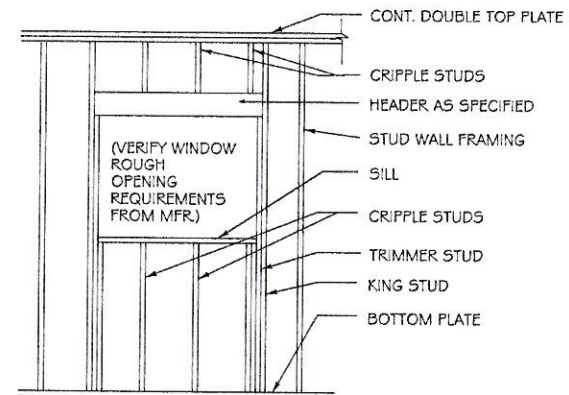
5 FLASHING DETAIL (PANEL SIDING)



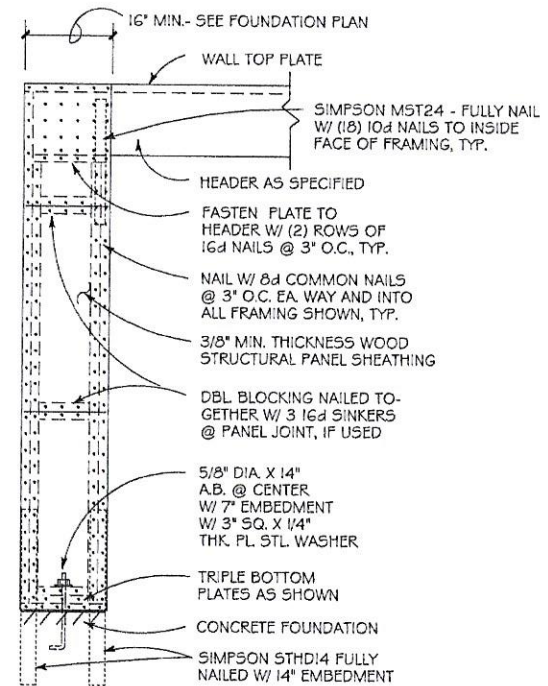
STUDS @ CORNER



2 DOOR OPENING DETAIL



1 WINDOW OPENING DETAIL



METHOD: PFH

4 ALTERNATE BRACED WALL PANEL DETAIL

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QUESTIONS? ... CA LL 1-800-210-6776 www.behmdesign.com	PLAN NO. 480-1a
DESIGN BY: JB DATE: O/I/I	SHEET CONTENTS: WALL FRAMING DETAILS ALTERNATE BRACED WALL PANEL DETAIL FLASHING DETAIL (PANEL SIDING)
SHEET 5 OF 7	

STRUCTURAL/GENERAL NOTES & SPECIFICATIONS

A. General

The following notes shall clarify and supplement the working drawings.

B. Codes & Standards

International Residential Code (IRC) - ACI-318; ACI SP-15 /
M.B.M.A Manual
(and comply with all local applicable codes as required by Building Official)

C. Live Loads

Roof.....30 lbs/sf
Floors.....40 lbs/sf
Stairs & Exist 100 lbs/sf
Wind..... 115 mph, exposure C
Seismic zone....." C
Earth Pressure30lbs/cf equiv. Fluid pressure

D. Soil & Foundation Data

- Soil bearing data not available. Assumed soil bearing capacity = 1500 lbs/sf
- Extend all footings down to undisturbed soil of the specified strength with a minimum depth of 1'-6" below adjacent grade, or as required by local building official, based on local frost line depth.
- Center all footings on columns and walls unless specifically dimensioned otherwise.
- Compacted fill to be well graded and granular with not more than 5% passing a 200 sieve. Place in 8-inch loose lifts and compact to 95% modified AASHTO density at optimum moisture.

E. Cast-In-Place Concrete and Reinforcing Steel

- Concrete of the following 28-day strength: 5 sack cement/cy (min. 2500 psi); max. 6 gal water/sack for all structural concrete, including foundations and slabs on grade. Maximum sized aggregate 3/4". Maximum slump 4". Add Master Builders Pozzolith per manufacturer's recommendations to all concrete except footings. Concrete for exterior walks to be air entrained (5% air).
- Reinforcing steel ASTM A-615 grade 40/60. Use grade 40 for temperature steel, stirrups and dowels. Detail, fabricate and place in accordance with the latest edition of A.C.I. "Manual Of Standard Practice".
- Concrete cover on reinforcing steel (clear dimensions):
Suspended slabs.....3/4"
Beams & columns (to ties).....1 1/2"
Non-exposed vertical faces.....1"
Vertical faces exposed to earth or weather.....2"
Bottom of footings.....3"
Slabs-on-grade (from top).....1 1/2"
- Lap all field splices 24 diameters with minimum of 12". Bend outer wall footing bars 12 inches or use corner bars at all corners and wall intersections.
- Provide min. one continuous #4 bar at top and bottom of foundation walls w/ #4 at 12" o.c. where wall height exceed two feet. Provide min. two continuous #4 bars in footings. Dowel foundation walls to footings w/ #4 x 1'-6" long @ 16" o.c. Embedded 6" into footing. (No shear keys required)
- Reinforce around wall and slab openings, with sides of 12" or greater, with two #5 bars extending 24" beyond corners on all four sides. Provide one extra #5 diagonal bar, 4'-0" long, at each corner.
- Slabs-on-grade: Roll sub grade and moisten before pour. Saw cut crack control joints within 24 hours of pour or install Zip-Strip, with maximum of 12'-0" for 4" non-reinforced slabs and 40'-0" for reinforced slabs. (min. reinforcing: w6 x 6 - w1.4 x 1.4, supported)
- Vibrate all concrete. Segregation of materials to be prevented. Test cylinders not required.
- Place no fill against foundation or basement walls until floors are in place or walls have been adequately shored to resist lateral earth pressures.

F. Masonry (as applicable)

- Hollow masonry units: F'M=1350 (half & half c.m.u.)
Mortar type S: 1 pc, 1/2 lime putty, 4 sand
Grout: 2000 psi pea gravel concrete (7 sack)
- Reinforcing steel: ASTM A-615, grade 40.
- Place grout in lifts no greater than 4'-0" height.
- Wall reinforcing:
.....6" walls: #4 vertical @ 48" o.c. w/ #9 wire horiz. Joint reinf. @ 8" o.c.
.....8" walls: #5 vertical @ 48" o.c. w/ 3/16" dia. wire horiz. Joint reinf. @ 8" o.c.
Install two bars in corners, wall intersections, wall endings and around openings. Lap all bars 20 inches and joint reinforcing, 12 inches. Use corner bars for outer bars in bond beams and at intersecting walls.
- Anchor brick veneer to wood framed wall as detailed with 22 ga. X 7/8" x 7" galvanized corrugated wall ties @ 16" o.c. ea. Way with one Simpson n20a nail.

G. Timber and Wood Framing

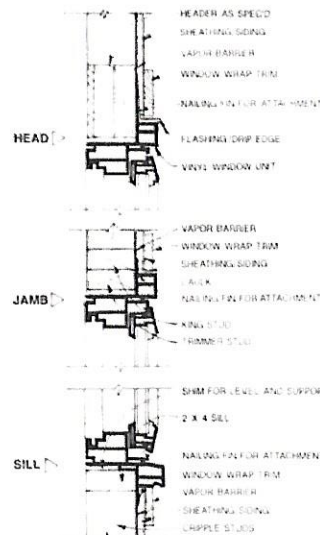
- Substitution of wood species identified herein may be as approved by local Building Official and material strength and capacities shall equal or exceed that of the species identified herein.
- All lumber to be graded per book 16 of the West Coast Lumber Inspection Bureau:
HF/DF no. 2 for joists, rafters, light framing, plates and bracing
DF no. 1 for posts and beams
HF/DF "stud" for stud wall framing
- Joists and rafters (lumber) shall have 2" nominal thick solid blocking at supports.
- Comply with the latest edition of the NFPA "National Design Specification" as modified by the applicable code for all structural timber requirements.
- Spike laminated members together w/ 10d nails @ 12" o.c., staggered. Splice laminations at supports only.
- Provide cut washers for all bolts bearing on wood.
- All nails shall be common wire nails.
- Glue-laminated timbers, Douglas Fir, A.I.T.C. grading: combination 24F-V3 for simple spans; 24F-V8 for cantilevered spans. Dry conditions of use. Architectural appearance grade where exposed to view. Fabrication plant A.I.T.C. inspected./ Wrap individual members.
- Plywood: Roof sheathing to be 15/32" C-D int-apa plywood with exterior glue, P.I. 24/0 (use 5-ply for panelized roofs) Nailing 8d @ 6" o.c. at panel edges and 8d @ 12" o.c. at intermediate supports. Sub-flooring to be 3/4" C-D-apa plywood with exterior glue, P.I. 32/16. Use T&G if no underlayment. Glue and nail with 10d @ 6" o.c. at panel edges and @ 10" at intermediate supports.
- Pre-fabricated trussed members to be designed by applicable state licensed engineer in accordance with requirements shown in the drawings. Contractor shall verify as-framed dimensions and conditions prior to truss fabrication and coordinate as required. All engineering data shall be made available for submittal to the Building Official as required.

H. Structural Steel

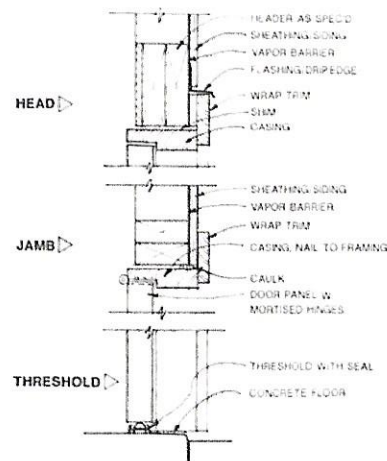
- All steel, except tubing: ASTM A-36. Pipe: ASTM A-53, Type E or S, grade B. Tubular section: ASTM A500, grade B. All bolts: ASTM A-307.
 - All fabrication, erection and detailing shall be in accordance with the latest edition of the "Manual Of Steel Construction" of the American Institute Of Steel Construction.
 - All welding by WABO certified welders in accordance with the "Welding Handbook" by the American Welding Society.
 - All welds 3/16" min. continuous fillet welds using A5WA5, E70XX electrodes.
 - Provide washers on all bolted connections.
 - All steel not embedded in concrete or masonry shall receive one shop coat of an approved primer paint. Apply two coats of heavy asphaltic paint to all steel exposed to earth.
 - Furnish complete shop drawings prior to fabrication.
- I. Miscellaneous
- Contractor shall verify all site conditions and dimensions in field.
 - Provide temporary bracing as required until all permanent connections and stiffening have been installed.
 - Verify size and locations of all openings in floor, roof and walls and coordinate with electrical and mechanical work.
 - Pre-fabricated items shall be handled and installed in accordance with manufacturers' recommendations. Pre-fabricated

assemblies shall be coordinated with any as-built conditions by the contractor regarding dimensions, clearance and applicable building code requirements.

- All HVAC equipment shall be determined by owner and/or contractor specific to this project and comply with all applicable codes. Performance data and distribution layout shall be provided by mechanical subcontractor. Submittals shall be coordinated by the contractor as required by the Building Official.
- It is the intent of these drawings and specifications to comply with the requirements of the applicable Building Code and all other relevant codes and ordinances. Any discrepancies, omissions or errors shall be brought to the attention of the designer for clarification or correction before beginning the work. It is the responsibility of the general contractor to seek clarification or correction if needed.



WINDOW DETAILS



DOOR DETAILS

- FASTENING REQUIREMENTS -

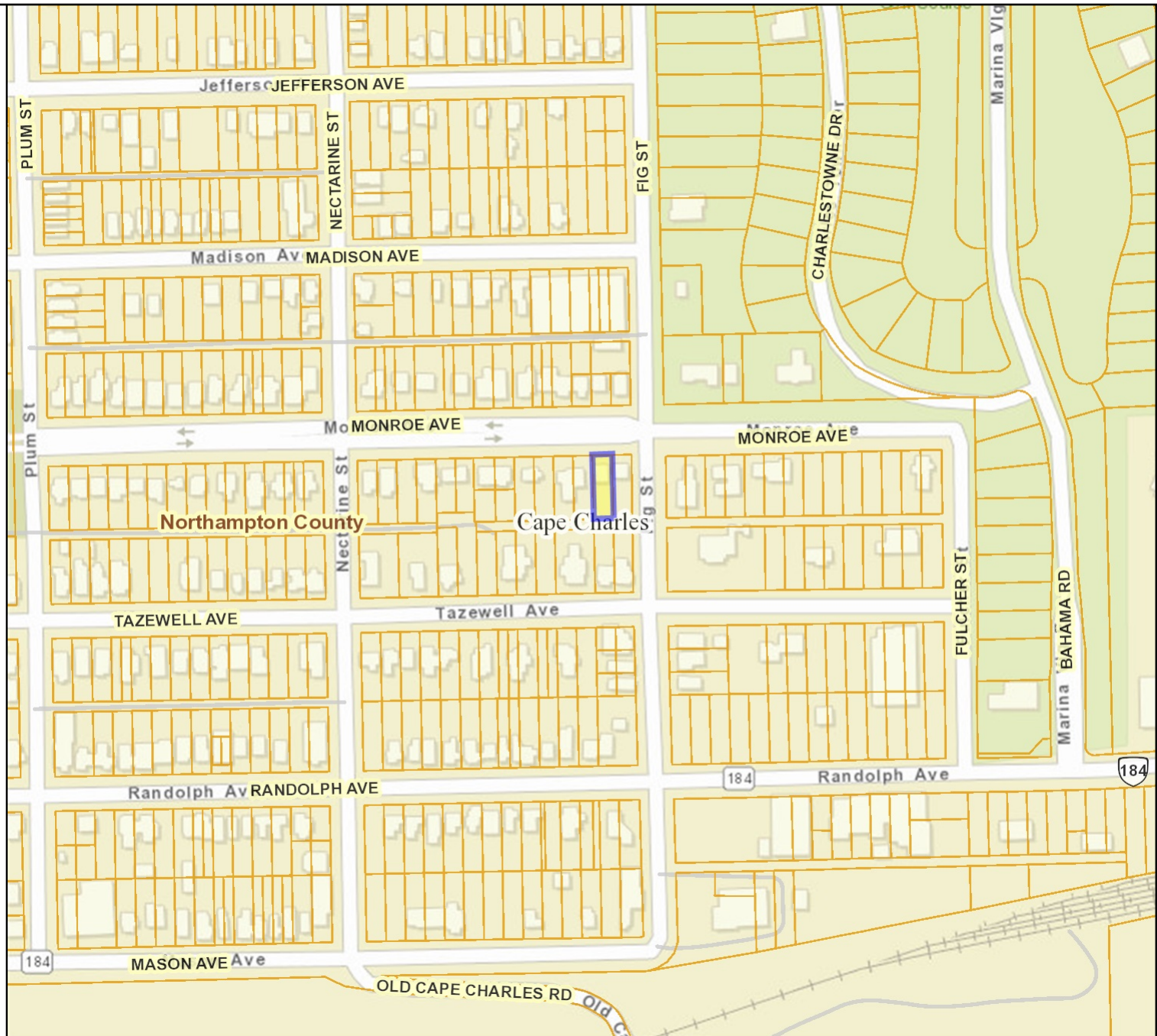
MINIMUM NAIL	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING (inches o.c.)	FIELD (inches o.c.)	WIND EXPOSURE CATEGORY	WIND SPEED (mph)		
Size	Penetration (inches)			Edges (inches o.c.)	Field (inches o.c.)	B	C	D	
6d Common (2.0" x 0.113")	1.5	24/0	NA	16	6	12	110	50	85
8d Common (2.5" x 0.131")	1.75	24/16	7/16	16	6	12	130	110	105
				24	6	12	110	90	85

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
 a. Fasten through to parallel or perpendicular supports. Through-ply wood sheathing with 16 studs spaced more than 16 inches on center shall be applied with panel strength nails perpendicular to supports.
 b. Table is based on wind pressure acting toward and away from building surfaces per Section R601.2. Lateral bracing requirements shall be in accordance with Section R602.10.
 c. Wood structural panels with span ratings of 24/0, 24/16, 24/12, 24/10, 24/8, 24/6, 24/4, 24/2, 24/0, 24/1, 24/2, 24/4, 24/6, 24/8, 24/10, 24/12, 24/16, 24/18, 24/20, 24/22, 24/24, 24/26, 24/28, 24/30, 24/32, 24/34, 24/36, 24/38, 24/40, 24/42, 24/44, 24/46, 24/48, 24/50, 24/52, 24/54, 24/56, 24/58, 24/60, 24/62, 24/64, 24/66, 24/68, 24/70, 24/72, 24/74, 24/76, 24/78, 24/80, 24/82, 24/84, 24/86, 24/88, 24/90, 24/92, 24/94, 24/96, 24/98, 24/100, 24/102, 24/104, 24/106, 24/108, 24/110, 24/112, 24/114, 24/116, 24/118, 24/120, 24/122, 24/124, 24/126, 24/128, 24/130, 24/132, 24/134, 24/136, 24/138, 24/140, 24/142, 24/144, 24/146, 24/148, 24/150, 24/152, 24/154, 24/156, 24/158, 24/160, 24/162, 24/164, 24/166, 24/168, 24/170, 24/172, 24/174, 24/176, 24/178, 24/180, 24/182, 24/184, 24/186, 24/188, 24/190, 24/192, 24/194, 24/196, 24/198, 24/200, 24/202, 24/204, 24/206, 24/208, 24/210, 24/212, 24/214, 24/216, 24/218, 24/220, 24/222, 24/224, 24/226, 24/228, 24/230, 24/232, 24/234, 24/236, 24/238, 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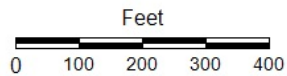
Northampton County, Virginia

Legend

-  County Boundaries
-  Town Names
-  Route Numbers
-  Road Labels
-  Parcels
-  Driveways



Map Printed from Northampton
<http://northampton.mapsdirect.net/>



Title: 648 Monroe Avenue

Date: 3/23/2020

DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and Northampton County is not responsible for its accuracy or how current it may be.



HISTORIC DISTRICT REVIEW BOARD

STAFF REPORT

Meeting Date: April 30, 2020

Item #: 3B

Prepared By: Paul Grossman
Site Address: 301 Madison Avenue – tax map #83A1-1-195
Applicant: Frank and Andrea Giardina
Owner: Frank and Andrea Giardina
Proposed Development: Renovation to former Church Building now used as residence

Current Zoning: Single-Family Residential (R-1): This zoning district is intended to provide quiet, medium density, single-family residential development plus provide open areas where similar residential development appears likely to occur. The regulations for this district are designed to stabilize and protect the essential characteristics of the district, to promote and encourage a suitable environment for family life where there are children, and to restrict all activities of a commercial nature as described in Section 3.6-A of this ordinance, known as Commercial District C-1, which states “These commercial activities are characterized by heavy traffic, noise, and congestion of people and passenger vehicles and by large office buildings and retail establishments,” and to promote a convenient, attractive, and harmonious community. This section is created in recognition of the existence of developed areas where single family and duplex dwelling currently exist on lots of 5,600 square feet and where the characteristics of the neighborhood include both permanent as well as seasonal residents.

Historic District Overlay: The purpose of this district is to provide for protection against destruction or encroachment upon historic areas, buildings, monuments, or other features, or buildings and structures of recognized architectural significance which contribute or will contribute to the cultural, social, economic, political, artistic, or architectural heritage of the Town of Cape Charles and the Commonwealth of Virginia. It is the purpose of the district to preserve the designated historic areas and historic landmarks and other historic or architectural features, and their surroundings within a reasonable distance, from destruction, damage, defacement, and obvious incongruous development or uses of land and to ensure that buildings, structures, streets, walkways, or signs shall be erected, reconstructed, altered, or restored so as to be kept architecturally compatible with the character of the general area in which they are located and with the historic buildings or structures within the district.

Historic Significance of this property: Cape Charles Article VIII, Historic District Overlay specifies that the National Register of Historic Places is used to determine contributing structures using a period of significance from 1880s to 1940. This property is listed as a 1930's brick and concrete block church and 'contributing' in the register. However, the applicant/owners have provided evidence that this is not an accurate classification. In the 1930's, a small 540 SF wooden structure was built on the property and used for the original church. In 1947, it was relocated to the lot next door (Lot 149). The date the current structure was built was 1949. Operating as a church through 1984 at which time it was disbanded. It sat unused until 1998 when it was purchased and repurposed into a home. Improvements were made through 1999 and none thereafter. In 1998, an adjoining building was added at the rear of the church for living space.

Therefore, there is sufficient documentation to support this structure's classification as a non-contributing structure (i.e., built after 1940).

Pre-Application Meeting:

Three pre-application meetings were held with the applicant/owners:

- March 4, 2020 with Frank and Andrea Giardina, Ed Wells and P Grossman
- March 9, 2020 with Frank Giardina, Jeb Brady and P Grossman
- April 7, 2020 with Frank Giardina, Jeb Brady and P Grossman

Description of Proposed Project:

In order to bring consistency and cohesiveness inside and outside to the building, the following changes are proposed:

1. Replacing the windows in the 'church' section.
 - Total of 14 windows, includes 2 existing vinyl type for on either side of front vestibule that currently do not maintain the gothic shape but will return to gothic style.
 - Replacement windows will be Plygem SH 1500, single hung.
 - Wood composite trim to cover good portion of frame and joints.
 - Top and bottom will have clear glass.
2. Remove unused chimney that was part of the original church structure at the rear but sticking out of the newer addition. Not visible from Madison Ave. but visible from Strawberry St.
- ~~3. Enhance and enlarge the small covered porch area on the Strawberry St side door. Enlarge current 7' x 4' wood deck to 10' x 7' wood deck and enlarge the roof line to cover it.~~ Removed from scope of project April 14, 2020 by applicant.
4. Enhance and enlarge the deck on the back of the house. Enlarge 8' x 10' wood deck to 19' x 12'. Same deck board material will be used as existing running perpendicular to building. Deck will step down to 14" height from grade.
5. Replace the back door (solid door with storm door) with a glass 6' sliding door.
6. Replace the entire roof with new architectural type roof shingles.
7. Replace the front storm door with 1 ¾ inch full lite entry door.

Staff Recommendation:

Due to the vacancy of the planner position, staff defers discretion to the board. The Historic District Review Board makes the final determination on whether a Certificate of Appropriateness will be issued for this project and may impose conditions on an approval.

Attachments:

Attachment 1 – Pre-application Meeting Minutes 3/4, 3/9 and 4/7/20

Attachment 2 - Application and Documents

Attachment 3 – Location Map



PRE-APPLICATION INFORMATION FORM

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

APPLICANT INFORMATION

Name: FRANK AND ANDREA GIARDINA
Mailing Address: 231 BEACON DRIVE, PHOENIXVILLE, PA 19460
Phone Number: 484-919-5518 Email: FVGIARDINA@AOL.COM

PROJECT SUMMARY

Address of Project: 301 MADISON AVE., CAPE CHARLES, VA 23310
Application Type (rezoning, variance, etc.): CERT OF APPROPRIATENESS FOR T.H.D.R.B.
Total Acreage of Project: N/A

Detailed Description (Include proposed use(s) and square footage of floor area for each use):

REPLACE 14 WINDOWS

REMOVE UNUSED CHIMNEY

ENHANCE AND ENLARGE SMALL PORCH AREA ON STRAWBERRY ST. SIDE DOOR.

ENHANCE AND ENLARGE DECK ON BACK OF HOUSE

REPLACE BACK DOOR WITH 6' SLIDER

REPLACE ROOF SHINGLE WITH NEW ARCHITECTURAL SHINGLES

Signature of Applicant: 

Date: 3/1/2020

For Internal Use Only:

Pre-Application Meeting Date: _____

Staff Printed Name: _____ Signed: _____

HDRB Rep Printed Name: _____ Signed: _____

Frank and Andrea Giardina
301 Madison Avenue
Cape Charles, VA 23310

March 1, 2020

Pre-Application Meeting: Weds, March 3rd at 10:30am at 301 Madison Avenue
(See attached Pre-Application Form)

Overall concept of project: Repurpose the existing building that was once an operational church into our home. The original church was built in 1949 and operated as a church until 1984 when the church was disbanded. The building sat unused until 1998 when it was purchased to be repurposed into a home. The previous owner made certain renovations and built an addition onto the original church building. The renovations did clean up the building, but jeopardized the architectural significance and historic nature of the building because of the mix of materials that now make up the outer portion of the building. There have been no improvements to the building in 20 years.

Now we would like to bring this building and property back to life with enhancements and beautifications while working with the Town of Cape Charles in a mutually respectful fashion and working together. Our plan includes a substantial investment into this property which stands prominently on the corner of Madison Ave. and Strawberry St. We will work with local contractors, architects, businesses and lumber yards for all aspects of this project.

Our hope is to work together with the Town so this project moves along quickly without undo delays and we deliver what will be one of the Town's most unique and interesting properties. In addition, this will greatly improve this particular section and corner of Cape Charles. And most importantly, we will create a home for our family in Cape Charles.

When we first considered buying this home, we saw a property that had become inconsistent and incohesive architecturally both inside and out. It was like two different buildings were arbitrarily attached to each other. One built in 1949 and the other built in 1998. One is made with brick and the other has vinyl siding. It was in need of someone taking the chance to buy this unique property and do something very special with it. Others wanted to try to put businesses, boarding rooms, vacation rental units, ... with it. But we saw the potential for a beautiful home. Our goal will be to bring consistency and cohesiveness inside and outside to the building and property by using design experts and local talent.

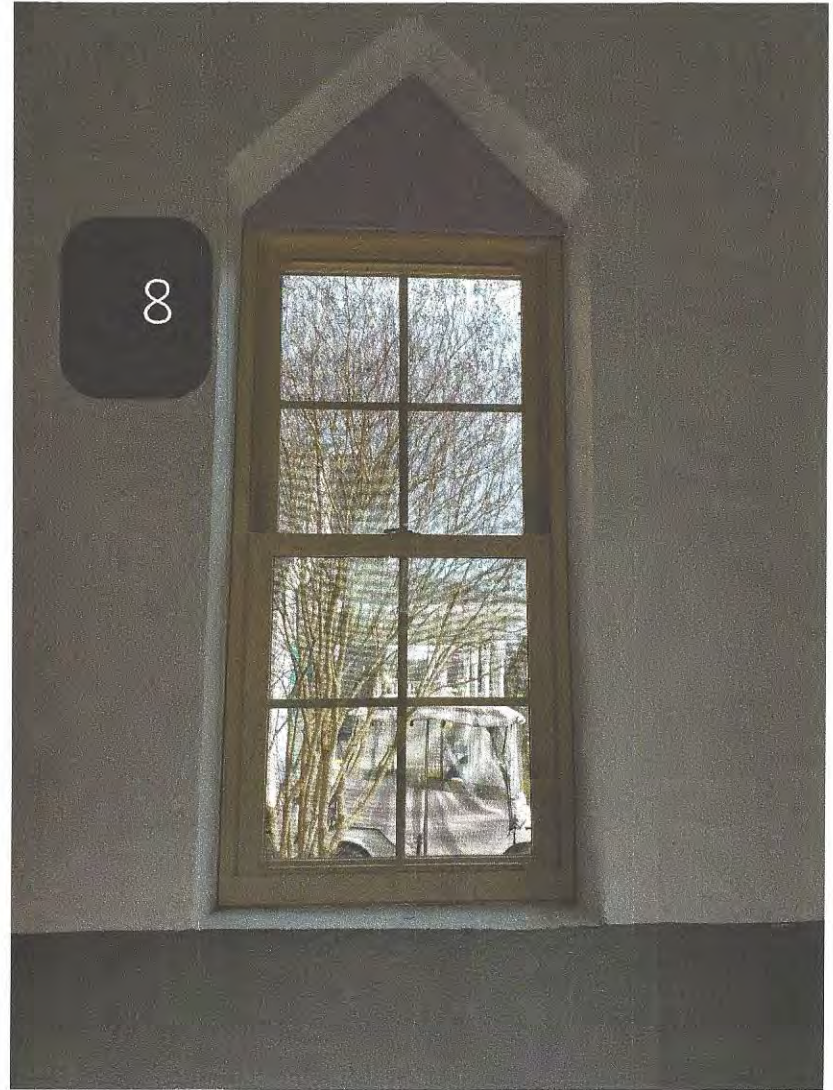
Items to discuss with the Historic District Review Board:

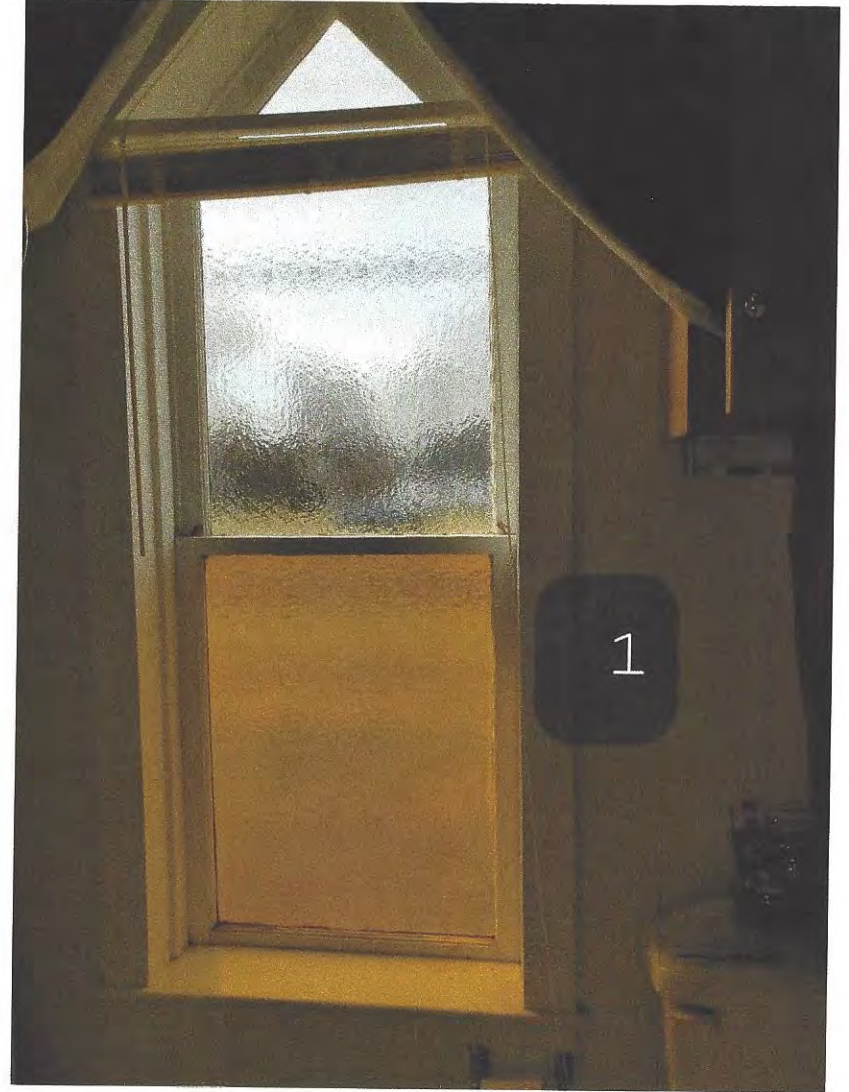
- 1) *Replacing the windows in the "church" portion.* We had several contractors and two local architects inspect each of the 14 windows that are in this portion of the building and have found that 2 are a vinyl type window that does not maintain the shape that the other windows have (see window #7 & 8 in the attachment) which we would like to replace with wood

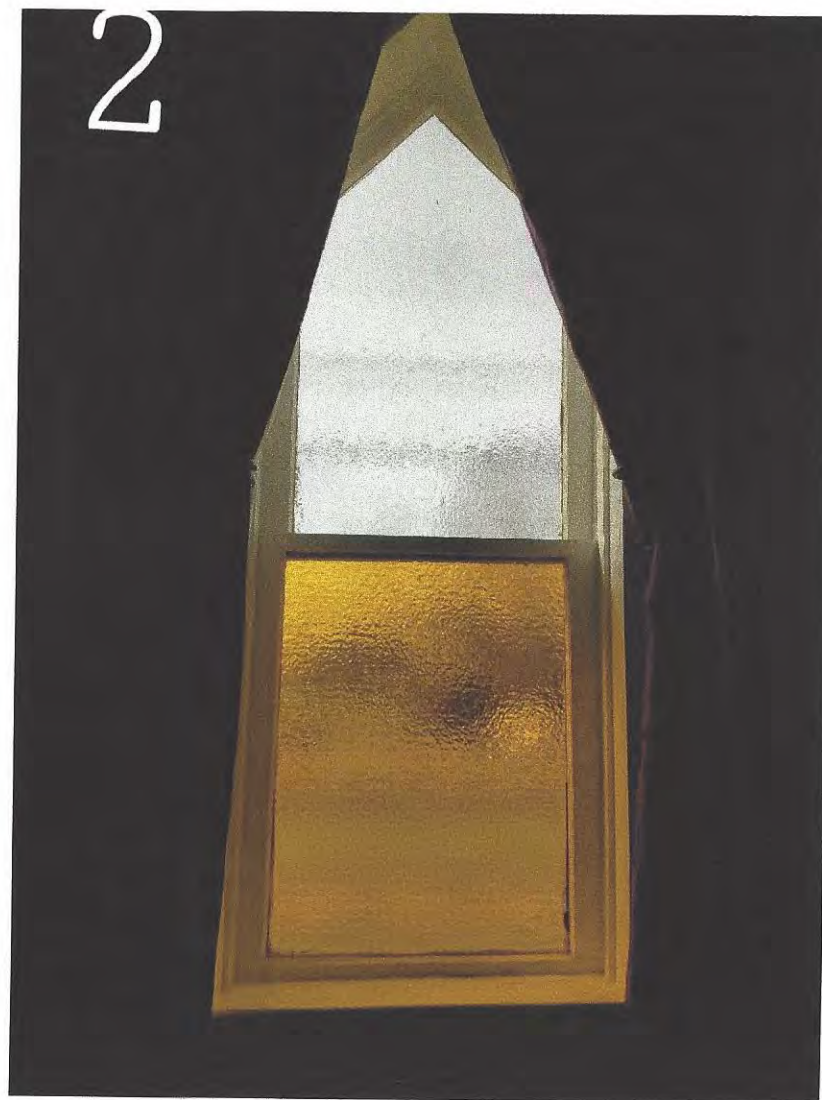
window and recreate the shape of all the others. We also found that some of the windows are broke, cracked or do not maintain the same color (see the various attachments). Nor do any of the windows operate and none of them are energy efficient. We explored repairing and replacing the broken glass with local contractors, but that proved to be problematic due to the fact that the windows would still be energy inefficient and would mean that we would have to install storm windows. This would not only be financially impossible, but the addition of storm windows would take away the architectural integrity of the look that we would like to maintain. Instead, we would like to replace these with wood windows that are all the same throughout which will be fully operable and energy efficient. We have spent a few months looking into all options we found a window maker that can custom make replacements that will be wood, be energy efficient and be operable. (see attachment from OBS Eastville, PlyGem window maker Series 200 traditional wood window).

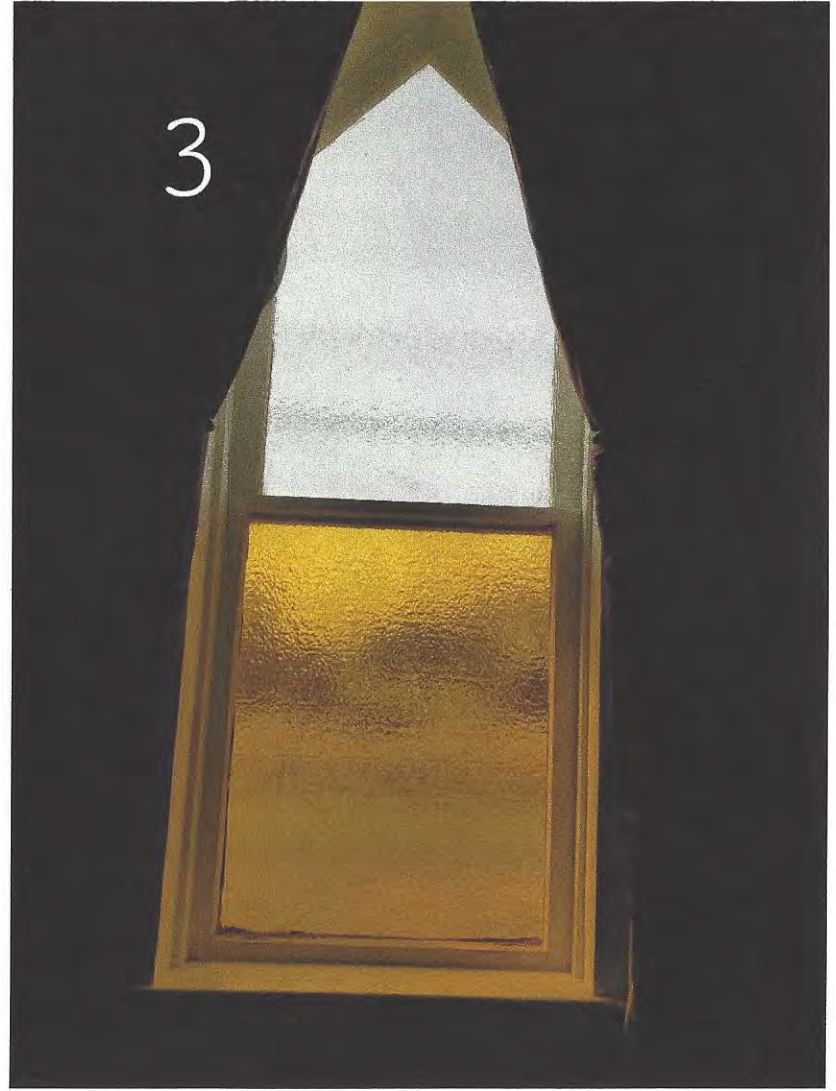
- 2) *Remove unused chimney.* There is an existing chimney that is sticking out of the roof of the addition. The chimney is no longer used and is just a hollow structure. It extends down through the addition in the middle of one of the bathrooms. There are signs of various leakages from over the years. We have has roof contractors look at this due to the leaks and tell us that they can continually flash and caulk the areas, but this will be an ongoing problem that will eventually create more and more water damage. We also have had a mason look at the chimney and they let us know that it is fairly easy to dissemble the chimney.
- 3) *Enhance and enlarge the small covered porch area on the Strawberry St side door.* We will use an acceptable material that is approved by the H.D.R.B. The current porch is just a walk out porch which is 7' X 4'. We would like to re-do this porch and make it into a 10' X 7' porch which will allow us to sit on it. (see attached picture of the area)
- 4) *Enhance and enlarge the deck on the back of the house which is now 8' X 10'.* We will use an acceptable material that is approved by the H.D.R.B. We would like to re-do deck and make it into a 19' X 12' covered porch. (see attached picture of the area)
- 5) *Replace the back door with a glass 6' slider.* The current door is a solid door with a basic storm door.
- 6) *Replace the entire roof with new architectural type roof shingles.* We will use an acceptable material that is approved by the H.D.R.B. The current roof is over 20 years old and after the building inspection was done, we were made aware that the current shingles have worn out and need to be replaced. There are signs of water leakage.

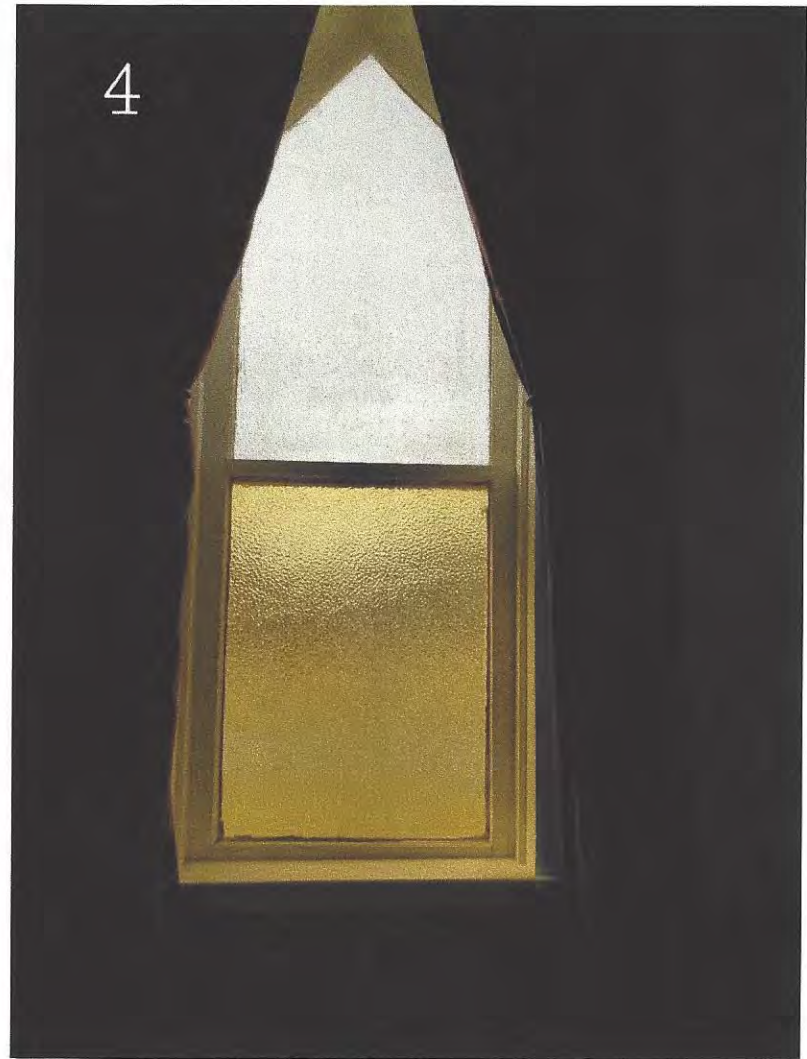




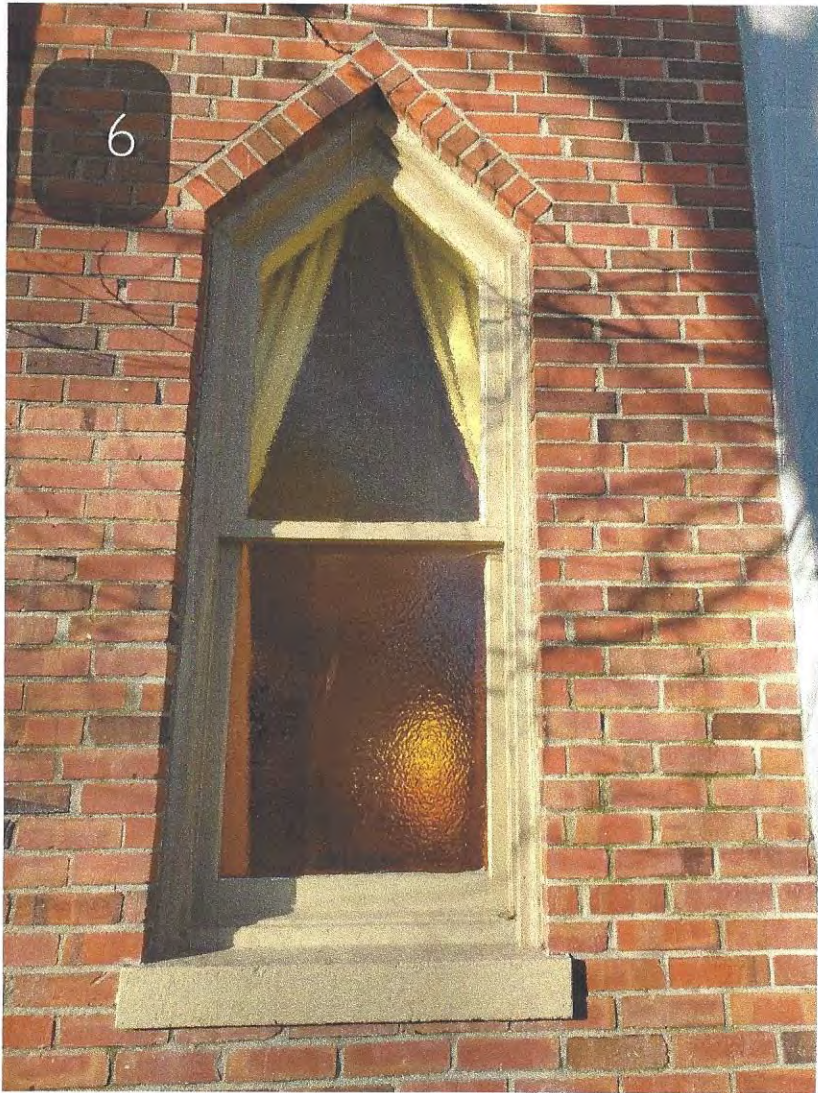


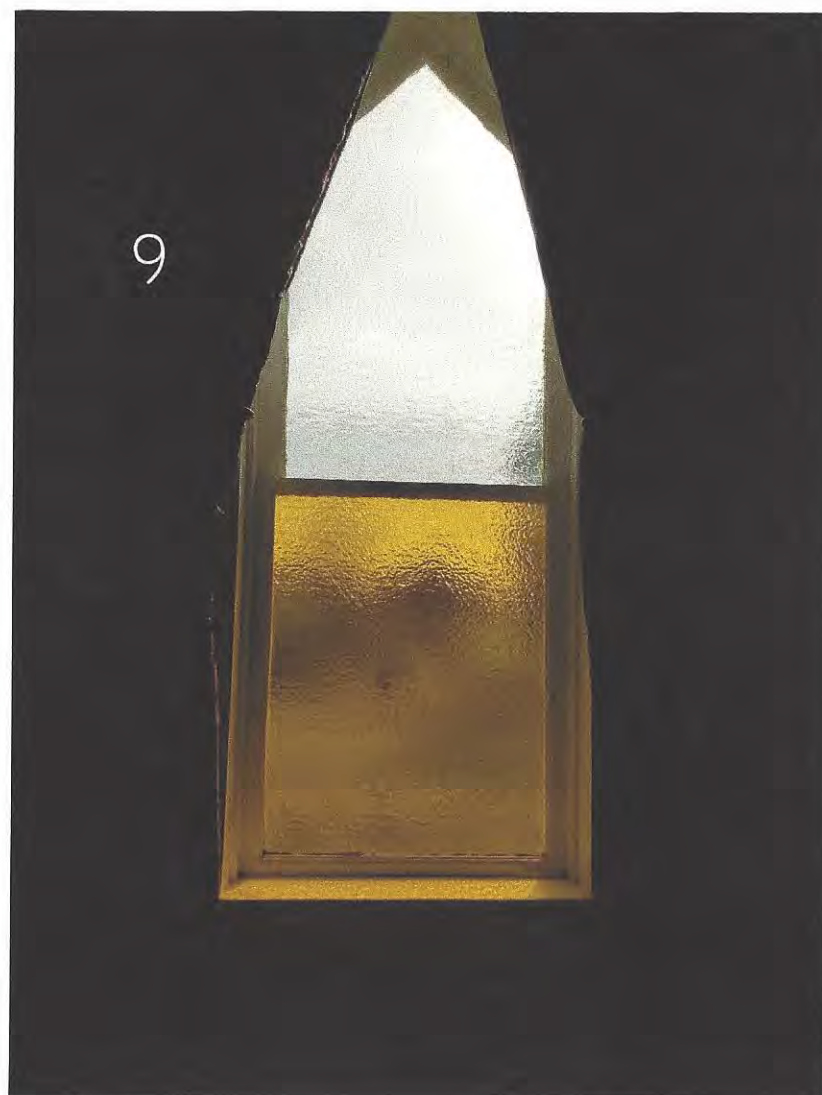


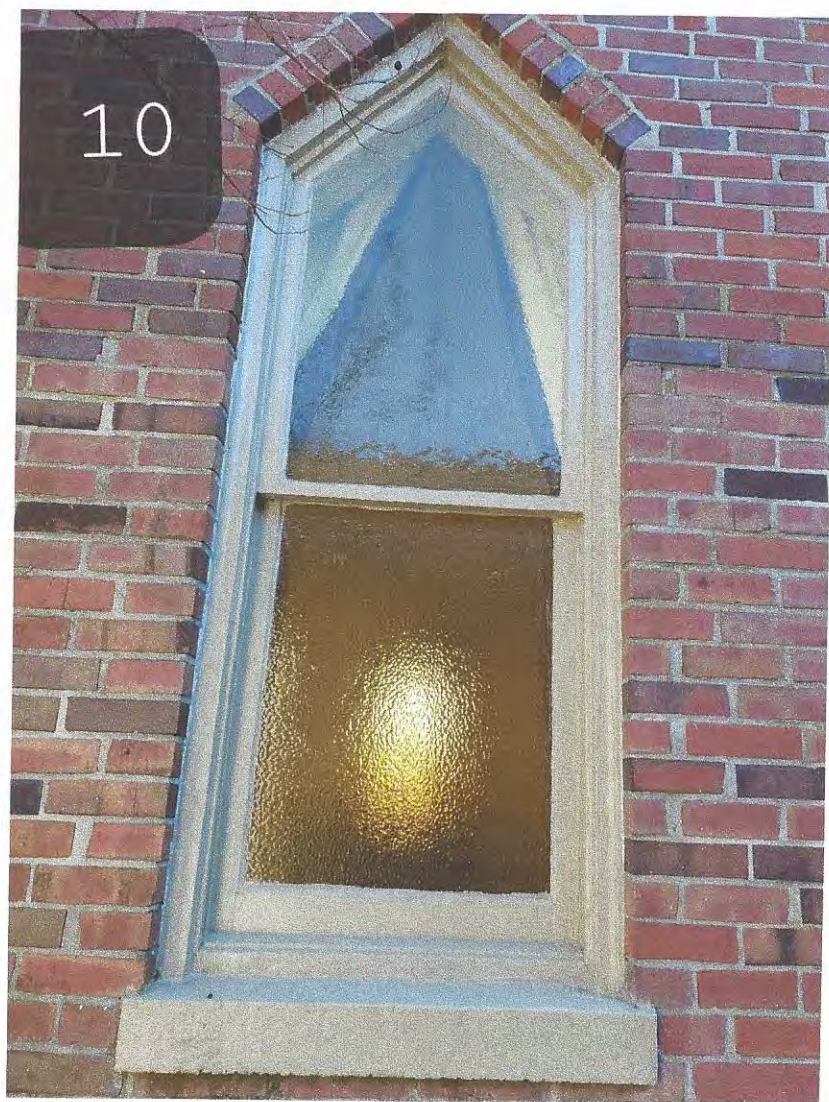


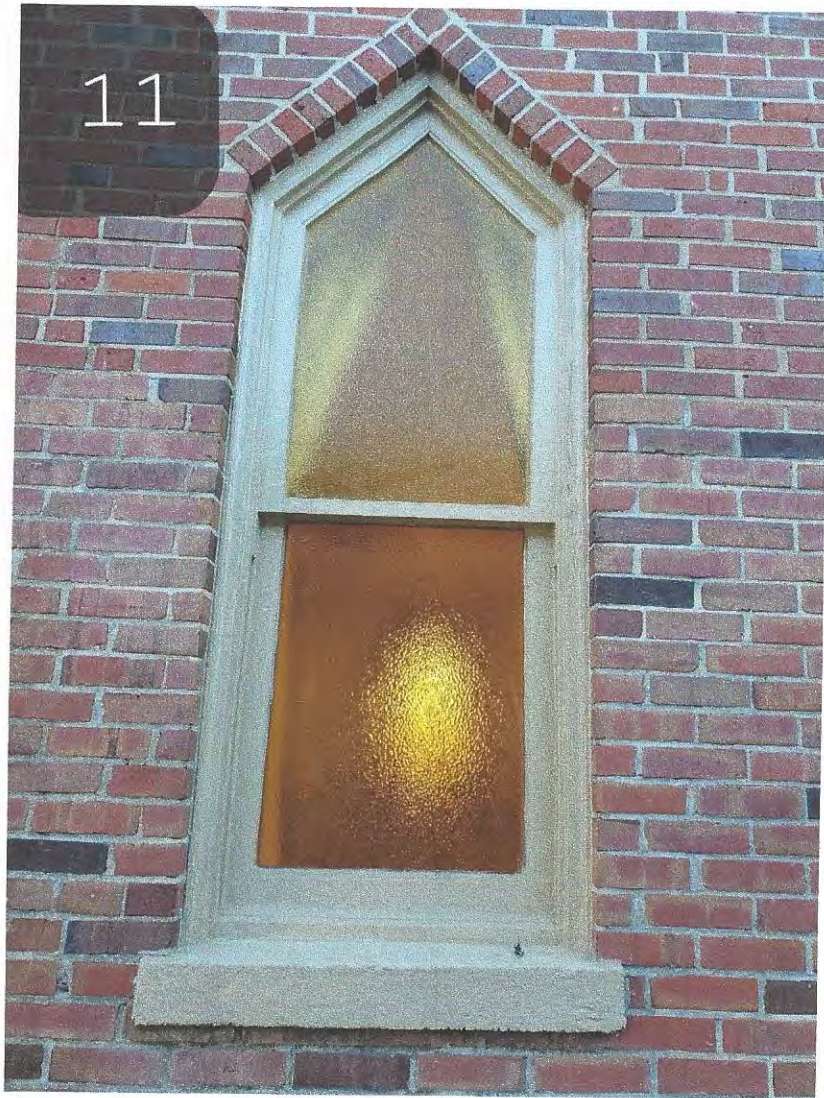


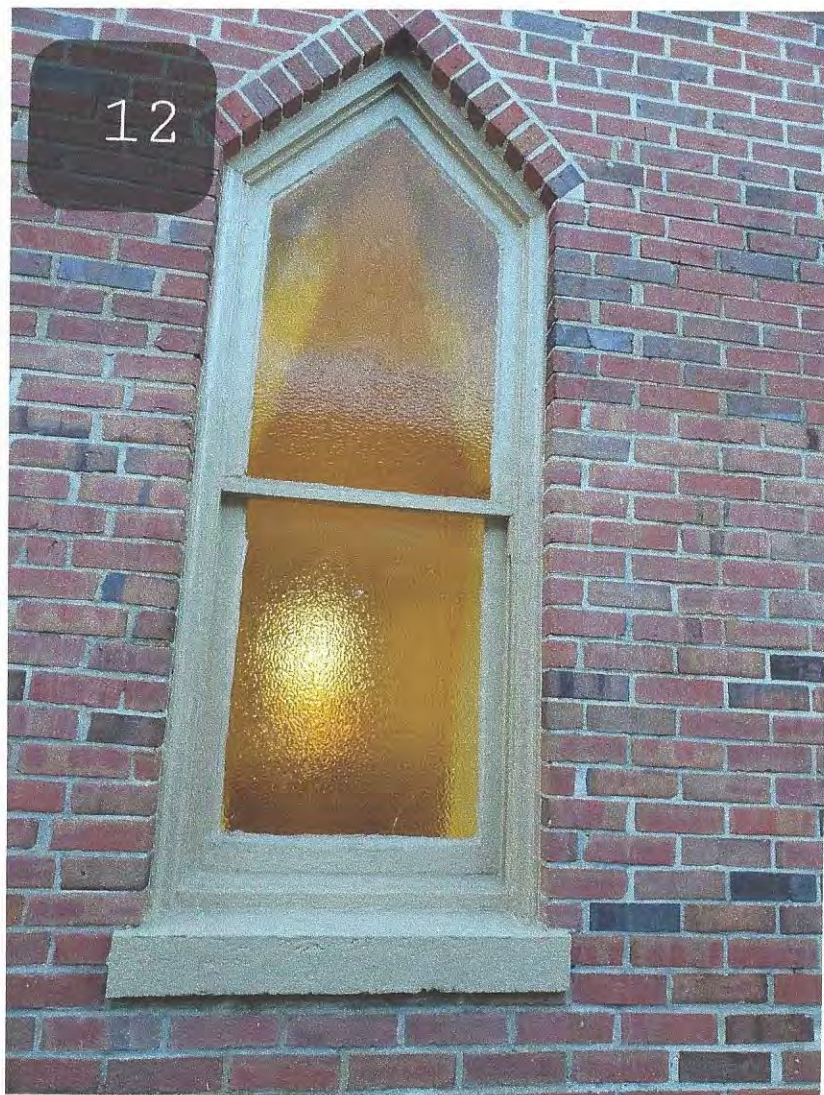




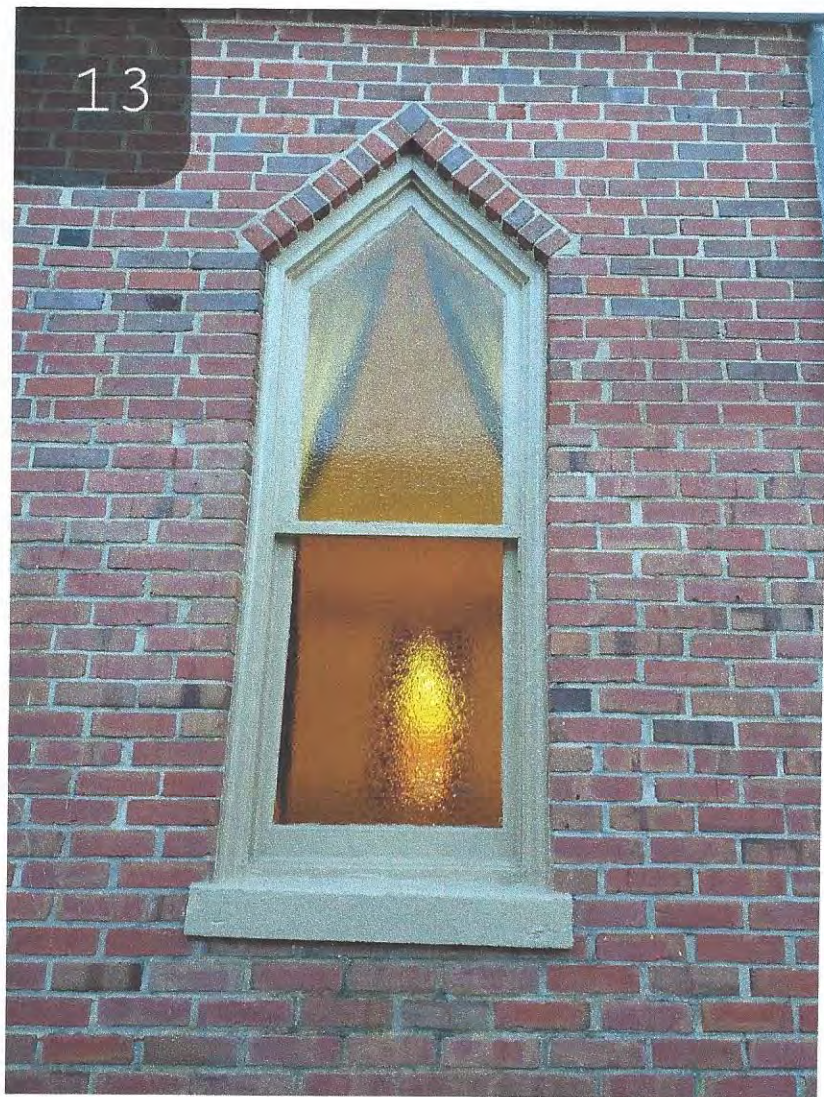








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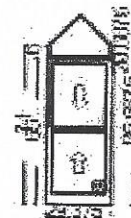


G.B.S. EASTVILLE

ANDREW GREENE

QUOTE #	QUOTE DATE	REQUESTED DATE	SHIP DATE	QUOTED BY
5343870	2/26/2020	1/1/0001	Quote Not Ordered	ghodges
JOB NAME	CUSTOMER PO#		PLANT	SALES PERSON
Church units			Rocky Mount	Liebig, David
BUILDING/LOT #	CONTACT			

LineItem #	Description
2-1	Rough Opening: 30 1/2 X 86 1/2, Rough Opening Short Side = 71 5/16, Frame: 29 3/8 X 85 11/16 Wrapping - Clear Opening Calculations 25.75 X 28.625, Clear Opening Area: 5.12 Product Unit 1: Pro Series 200 Double Hung Unit 2: Pro Series 200 Double Hung Pentagon Dimensions Unit 1: Call Size 2-4 5-2, Frame Size 29.375 X 65 Unit 2: Frame Size 29.375 X 20.6875, Frame Short Side = 6 Color Unit 1: Exterior = Primed, Interior = Natural, Balance = White Unit 2: Exterior = Primed, Interior = Natural Unit Type Unit 1: 200 Standard, Compression Tilt, Base Sill Material: Synthetic, Blind Stop Material: Synthetic, Prep for Stool and Apron, Non-Standard Product Request = None Unit 2: 200 Standard, Outside Stop Material: Synthetic, Non-Standard Product Request = None Unit Performance Unit 1: Performance Upgrade = None, DP +35/-35, No Thermal Requirement, U-Factor = 0.3, SHGC = 0.29, VLT = 0.52, CPD = PWG-M-80-01168-00001 Unit 2: DP +55/-55, No Thermal Requirement, U-Factor = 0.27, SHGC = 0.35, VLT = 0.64, CPD = PWG-M-75-00936-00001 Glass Unit 1: Low-E/Argon, Double Glazed, Warm Edge (WE), Metal, Common Glass Options = Options Differ per Pane Unit 1 Lower: Annealed Unit 1 Upper: Annealed, Obscure Unit 2: Low-E/Argon, Double Glazed, Annealed, Warm Edge (WE), Non-Metal Hardware White, 1 Lock Screen Full Screen, White, Shipped Separately Wrapping - Frame Options Standard Nose, Synthetic Wrapping - Exterior Casing MW Brickmould, Synthetic Wrapping - Jamb Extension 4 9/16" Wrapping - Overall Performance DP+35/-35 Mulls Horizontal Factory 0" thick



LineItem #	Description
2-2	Unit 1 Screen, 2-4 5-2, Screen Color: White

Qty: 1
Room Location:
None Assigned
Note:

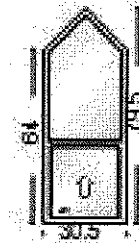
200 Series Wood - TRADITIONAL WOOD
DH - \$999.57

Quote #: 5343870
Quote Effective Date:



Page 2 of 4
Printed: 2/27/2020 3:16:04 PM

Line Item #	Description
1-1	Rough Opening: 31 X 80.10646, Frame: 30.5 X 79.5 Wrapping - Clear Opening Calculations 25.875 X 26.625, Clear Opening Area: 4.78 Product Unit 1:1500 Beveled Operable Pentagon Single Hung Dimensions Traditional (1/2" under Call Size), Call Size 2-7 6-8, Frame Size 30.5 X 79.5, Frame Short Side = 64, Sash Split = 5-0 Color Exterior = White, Interior = White Unit Type Beveled, Non-Drywall Glazed, Nailing Fin Unit Performance H-R25 (DP +25/-30), No Thermal Requirement, U-Factor = 0.32, SHGC = 0.22, VLT = 0.42, CPD = PWG-M-168-09438-00001, STC Rating = 27 Glass Unit 1: HP-SC (Low-E SC/Argon), Warm Edge (WE), Double Glazed, 7/8" Unit 1 Lower, 1 Upper: Annealed, Obscure Hardware Safety Vent Latch, Standard Flush Mount, White, 2 Locks, Standard (Inverted Block and Tackle) Wrapping - Frame Options Nail Fin Setback 1 3/8", Fins To Be Removed = Remove All



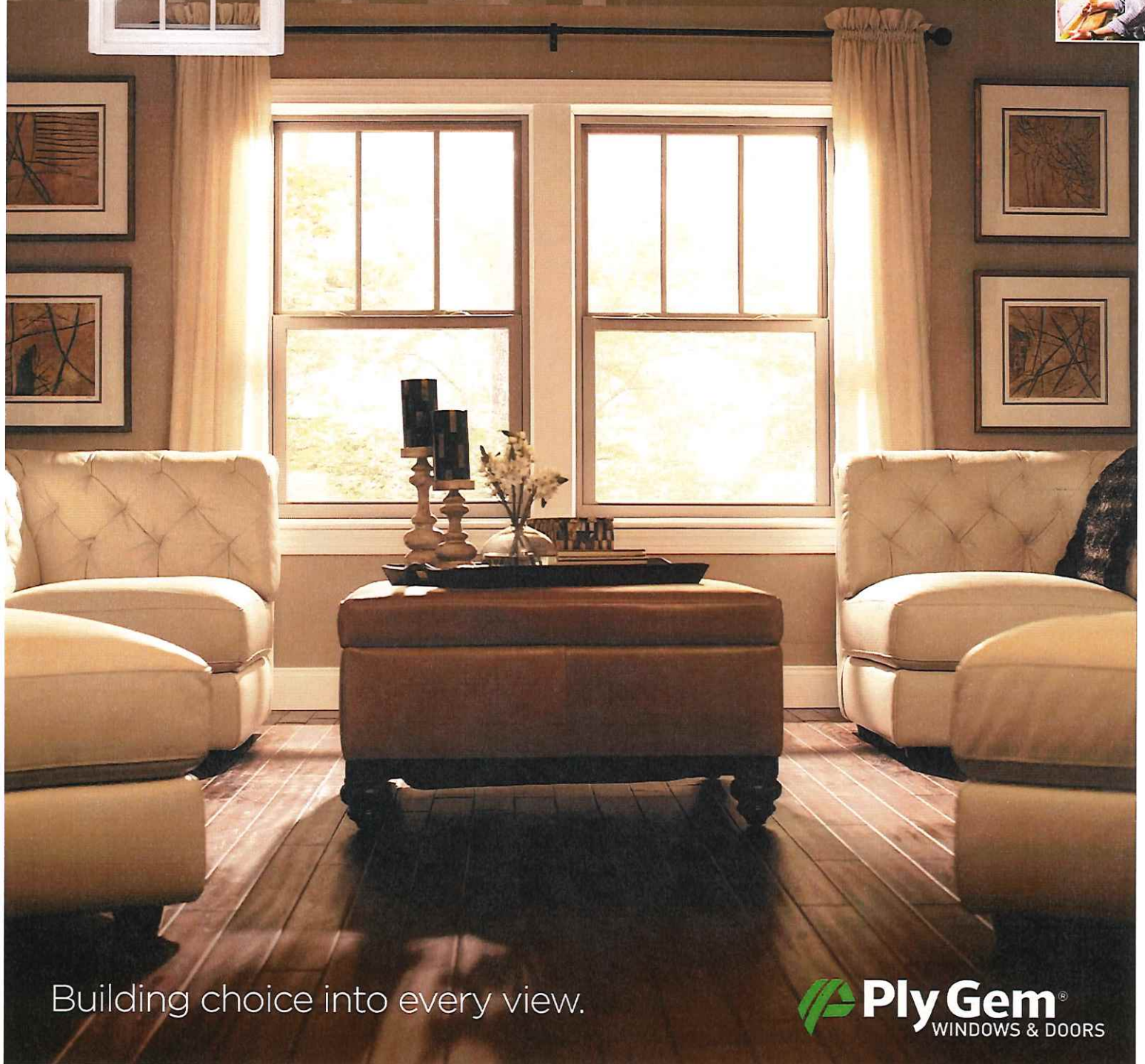
NEW CONSTRUCTION EAST



1500VinylCollection

Single Hung Windows

BUILDER



Building choice into every view.

 **Ply Gem**[®]
WINDOWS & DOORS

1500 Single Hung Windows



When you build a lot of homes, you expect a lot from your windows. Quality. Performance. Value. A company you can count on. Our new 1500 vinyl windows offer all that and more, including a full range of options to meet your every need.

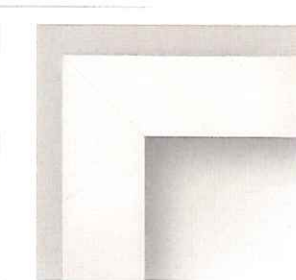
FrameOptions



Brickmould

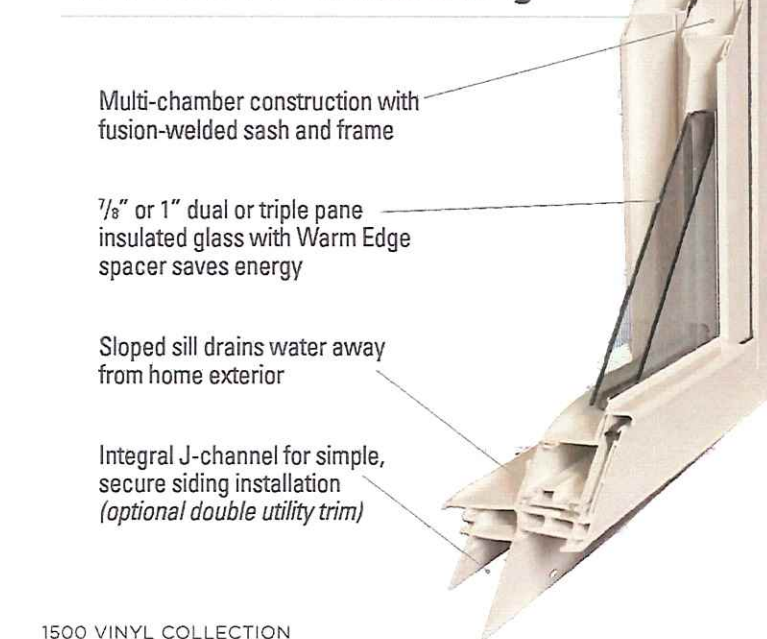


Beveled



Flat

Window**Anatomy**



Upgrade your view

- High performance in a builder's window
- Traditional or contemporary frame design
- SDL or GBG grilles
- Sizes to meet your need
- Egress Size: 3050SH, 4040SL
- Limited Lifetime Warranty

- High performance in a builder's window
- Traditional or contemporary frame design
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- Egress Size: 3050SH, 4040SL
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Color options New exterior colors are on brickmould and flat casing only. *Some restrictions may apply.

Color options New exterior colors are on brickmould and flat casing only. *Some restrictions may apply.



Grille types Also available with no grilles.

Grille types Also available with no grilles.



3/4" Flat, 5/8" or
1" Sculptured

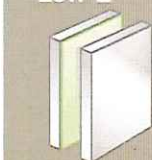


7/8" or 1-1/4" SDL
with Shadow Bar

Glass options

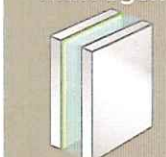
Glass options

Low-E



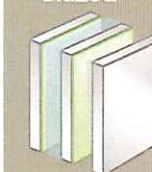
	1/4" Low-E	.35	SHGC .29
	One lite of Low-E		
	1/4" Low-E^{sc}	.35	SHGC .22
	One lite of solar cooling Low-E		
	1/4" Low-E2+	.30	SHGC .28
	One lite of Low-E and one lite of Interior Surface Low-E		

Low-E
with Argon



	One life of Low-E with argon		
	$\frac{1}{4}$ " HP ^{SC}	.32	SHGC .22
	One life of solar cooling Low-E with argon		
	$\frac{1}{4}$ " HP2+	.28	SHGC .28
	One life of Low-E and one life of Interior Surface Low-E with argon		

Triple- Glazed



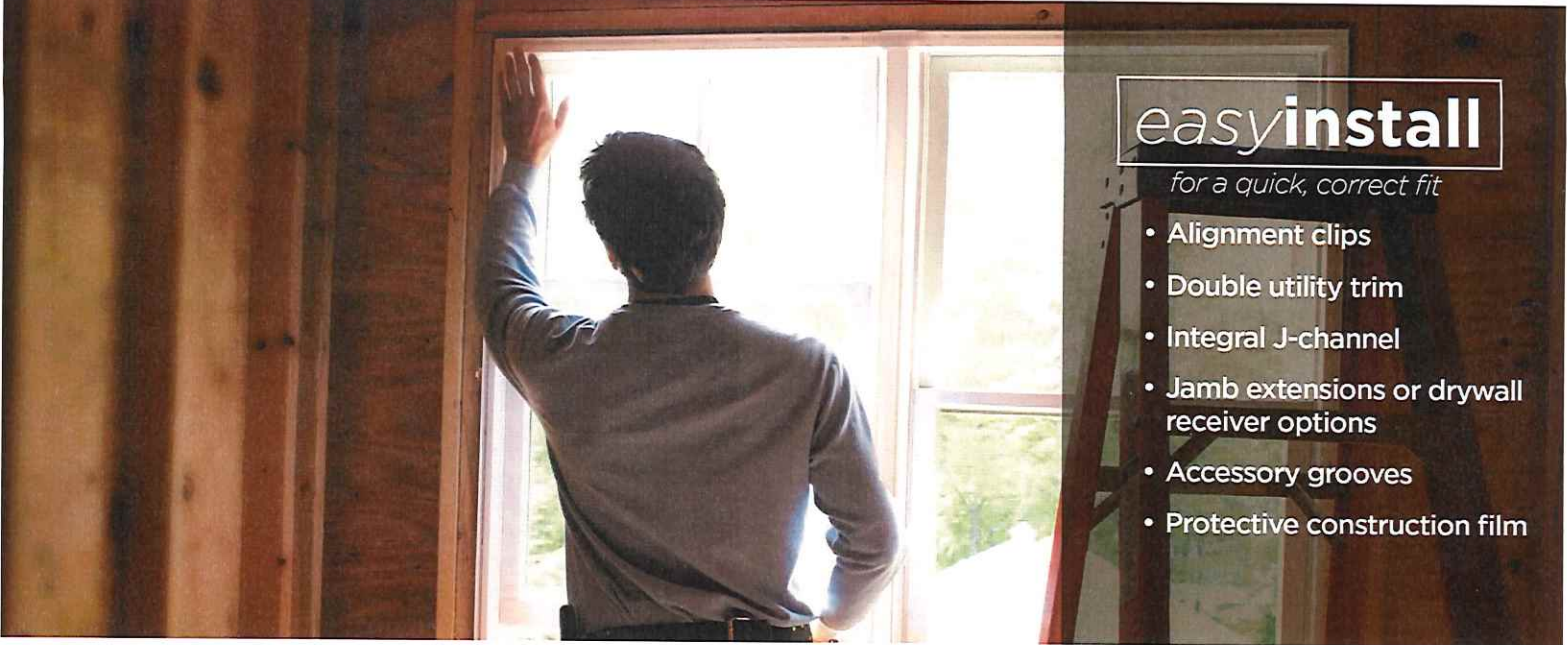
Two lites of Low-E with two chambers of argon

7/8" HP3_{Max} .23 SHGC .22

Two lites of Low-E, two chambers of argon, one lite of Interior Surface Low-E

1" HP3_{Max} .22 SHGC .22

Two lites of Low-E, two chambers of argon, one lite of Interior Surface Low-E



easyinstall

for a quick, correct fit

- Alignment clips
- Double utility trim
- Integral J-channel
- Jamb extensions or drywall receiver options
- Accessory grooves
- Protective construction film

Window Highlights



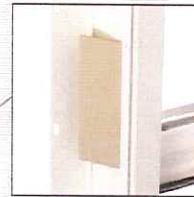
Optional
H-LC 50
Upgrade
in Limited
Sizes



Interior



Exterior



Jamb Alignment Clips

Aligns and holds frame in place during installation; enables one person to center smaller windows.



Removable Meeting Rail

Patented meeting rail anchor makes removing rail simple; ideal for drywall applications.

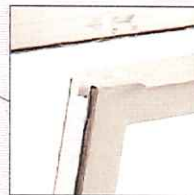
Patent #: 9624713



Integral Mulls

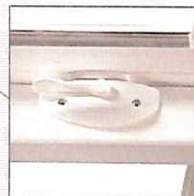
Twins and triples with continuous head and sill frame allows a mix of operating and fixed windows.

Patent #: 9038333



Interlocking Sashes

Sashes lock tightly together to help keep out intruders and inclement weather.



Forced Entry Resistant Locks

Enhanced security locks meet tough AAMA forced entry requirements. ADA accessible and auto-lock options available.



ADA Accessible Lock



Auto Lock



Building choice
into every view

WindowSpecs

FRAME

3 1/2" dual wall brickmould frame depth
2 7/8" beveled frame depth
1 3/8" integral nail fin set back
Optional 1/2" flush flange for block installs
Optional 3 1/2" flat casing for rectangles and arches
Optional double utility trim simplifies siding installation
Custom and traditional sizing to meet your needs
Integral J-pocket simplifies siding installations
Interior/exterior accessory grooves
Sloped sill for water management
Screen clip Patent #: 61738783
Mixed operating and fixed integral mulls Patent #: 9038333
Easy to remove meeting rail Patent #: 9624713

SASH

Interior glazed top glass
Exterior glazed bottom glass
Interlocking sash with dual pile weatherstripping
Inverted block & tackle or constant force coil balances
Recessed tilt-latch
Dual lift rails for easy operation
Half screens (shipped separately)

GLASS

Double: Low-E, Low-E^{SC}, Low-E2+, Low-E2+^{SC}, HP, HP^{SC}, HP2+, HP2+^{SC}
LE^{PS}, LE2+^{PS}, HP^{PS} and HP2+^{PS}
Triple: HP2^{MAX}, HP2^{MAX}^{SC}, HP3^{MAX}, HP3^{MAX}^{SC}
Optional Warm Edge+ spacers
Configurable STC values up to 35
Impact, tempered, obscure and rain options
Bronze Tint, Grey Tint and Black Spandrel options
EZ Clean option

GRILLES

GBG (Grilles Between Glass) 3/4" Flat, 5/8" or 1" Sculptured
SDL (Simulated Divided Lite) 7/8" or 1 1/4" with Shadow Bar
Colonial, Plaza, Prairie, Diamond, Gothic patterns available

LOCKS

Standard forced entry resistant cam lock
Self-latching forced entry resistant auto-lock option
ADA accessible forced entry resistant auto-lock option

PERFORMANCE CERTIFICATIONS



FLORIDA APPROVED

For a list of Ply Gem's Florida approved products visit floridabuilding.org.



CANADIAN STANDARDS ASSOCIATION CERTIFIED



TEXAS DEPARTMENT OF INSURANCE

Product Type	Test Unit Size (inches)	Overall Rating	Air Infiltration (scfm/ft²)	Air Exfiltration (scfm/ft²)	Water Pressure (psf)	Structural Pressure (psf)	NAFS Product Performance					Housing Performance	
							Test Standard(s)	Florida Approval	TDI Approval	AAMA 1701.2 Wind Zone	AAMA 1704 Egress Rated		
Single Hung	36 x 62	H-LC35	0.17	0.16	5.43	+35/-35	NAFS 05, 08, 11	FL16103					
	35.5 x 73.5	H-LC30	0.17	0.16	4.59	+30/-30	NAFS 05, 08, 11	FL16103					
	40 x 72	H-LC25	0.13	0.11	3.76	+35/-35	NAFS 05, 08, 11	FL16103	WIN-1769	WZ II	Yes		
	44 x 77.125	H-LC25	0.13	0.11	3.76	+25/-25	NAFS 05, 08, 11	FL16103	WIN-1769	WZ I	Yes		
	35.5 x 73.5	H-LC35	0.17	0.16	7.52	+35/-35	NAFS 05, 08, 11	FL16103					
	36 x 74	H-LC50	0.13	0.11	7.52	+50/-50	NAFS 05, 08, 11	FL16103	WIN-1769	WZ III	Yes		
	44 x 77.125	H-LC35	0.13	0.11	5.43	+40/-40	NAFS 05, 08, 11	FL16103	WIN-1769	WZ III	Yes		
	35.5 x 61.5	H-LC50	0.17	0.16	7.52	+55/-55	NAFS 05, 08, 11	FL16103					
	36 x 74	H-LC35	0.17	0.16	5.43	+35/-35	NAFS 05, 08, 11	FL16103		WZ II	Yes		
	36 x 74	H-LC50	0.17	0.16	7.52	+50/-50	NAFS 05, 08, 11	FL16103		WZ III	Yes		
	36 x 84	H-LC50	0.11	0.06	7.52	+50/-50	NAFS 05, 08, 11	FL16103	WIN-1769	WZ III	Yes		
	40 x 72	H-LC50	0.11	0.05	7.52	+50/-50	NAFS 05, 08, 11	FL16103	WIN-1769	WZ III	Yes		
	44 x 77.125	H-LC40	0.11	0.05	7.52	+40/-40	NAFS 05, 08, 11	FL16103	WIN-1769	WZ III	Yes		
	48 x 72	H-LC50	0.11	0.06	7.52	+50/-50	NAFS 05, 08, 11	FL16103	WIN-1769	WZ III	Yes		
	48 x 96	H-LC30	0.11	0.06	7.52	+30/-35	NAFS 05, 08, 11	FL16103	WIN-1769	WZ I	Yes		
	52.125 x 62	H-LC50	0.28	0.19	7.52	+50/-50	NAFS 05, 08, 11	FL16103	WIN-1769				
	53 x 77.125	H-LC40	0.28	0.19	7.52	+40/-40	NAFS 05, 08, 11	FL16103	WIN-1769	WZ III	Yes		
	53 x 77.125	H-LC50	0.28	0.19	7.52	+50/-50	NAFS 05, 08, 11	FL16103	WIN-1769	WZ III	Yes		
	38 x 77.125	H-LC50	0.11	0.05	7.52	+50/-60	AAMA 506-06, 08	FL16103	WIN-1771	NA	NA		
	52.125 x 62	H-LC50	0.28	0.19	7.52	+50/-60	AAMA 506-06, 08	FL16103		NA	NA		
	52.125 x 71	H-LC50	0.28	0.19	7.52	+50/-50	AAMA 506-06, 08	FL16103					
Integral Mull (Twin)	71.5 x 73.5	H-R25	0.17	0.14	3.76	+40/-40	NAFS 05, 08, 11	FL16100					
	72.5 x 74	H-LC25	0.18	0.15	3.76	+35/-35	NAFS 05, 08, 11	FL16100		WZ II	Yes		
	71.5 x 73.5	H-R50	0.17	0.14	7.52	+50/-50	NAFS 05, 08, 11	FL16100					
	71.5 x 73.5	H-LC35	0.26	0.17	5.43	+35/-35	NAFS 05, 08, 11	FL16100		WZ II	Yes		
	71.5 x 73.5	H-LC50	0.26	0.17	7.52	+50/-55	NAFS 05, 08, 11	FL16100		WZ III	Yes		
	76.125 x 65.125	H-R50	0.30	0.30	7.52	+50/-50	NAFS 05, 08, 11	FL16100					
	81 x 72	H-LC50	0.18	0.16	7.52	+50/-50	NAFS 05, 08, 11	FL16100		WZ III	Yes		
	84.25 x 77.125	H-LC40	0.18	0.16	7.52	+40/-40	NAFS 05, 08, 11	FL16100		WZ III	Yes		
Integral Mull (Triple)	81 x 72	H-LC50	0.18	0.16	7.52	+50/-50	NAFS 05, 08, 11	FL16100		WZ III	Yes		
	84.25 x 77.125	H-LC40	0.18	0.16	7.52	+40/-40	NAFS 05, 08, 11	FL16100		WZ III	Yes		
	107.5 x 73.5	H-R25	0.17	0.14	3.76	+40/-40	NAFS 05, 08, 11	FL16100					
	109 x 74	H-LC25	0.18	0.15	3.76	+35/-35	NAFS 05, 08, 11	FL16100		WZ II	Yes		
	107.5 x 65.5	H-LC50	0.26	0.17	7.52	+50/-50	NAFS 05, 08, 11	FL16100					
	107.5 x 73.5	H-LC35	0.26	0.17	5.43	+35/-35	NAFS 05, 08, 11	FL16100		WZII	Yes		
	107.5 x 73.5	H-LC50	0.26	0.17	7.52	+50/-55	NAFS 05, 08, 11	FL16100		WZ III	Yes		
	114.625 x 65.125	H-R40	0.3	0.3	6.06	+40/-45	NAFS 05, 08, 11	FL16100		WZ III	Yes		
	114.625 x 65.125	H-R45	0.3	0.3	7.52	+45/-50	NAFS 05, 08, 11	FL16100					
	121 x 77.125	H-LC45	0.16	0.14	7.52	+45/-45	NAFS 05, 08, 11	FL16100		WZ III	Yes		

Compression Tape Glazing
Two-Sided Tape Glazing
Impact Rated

Test Standards

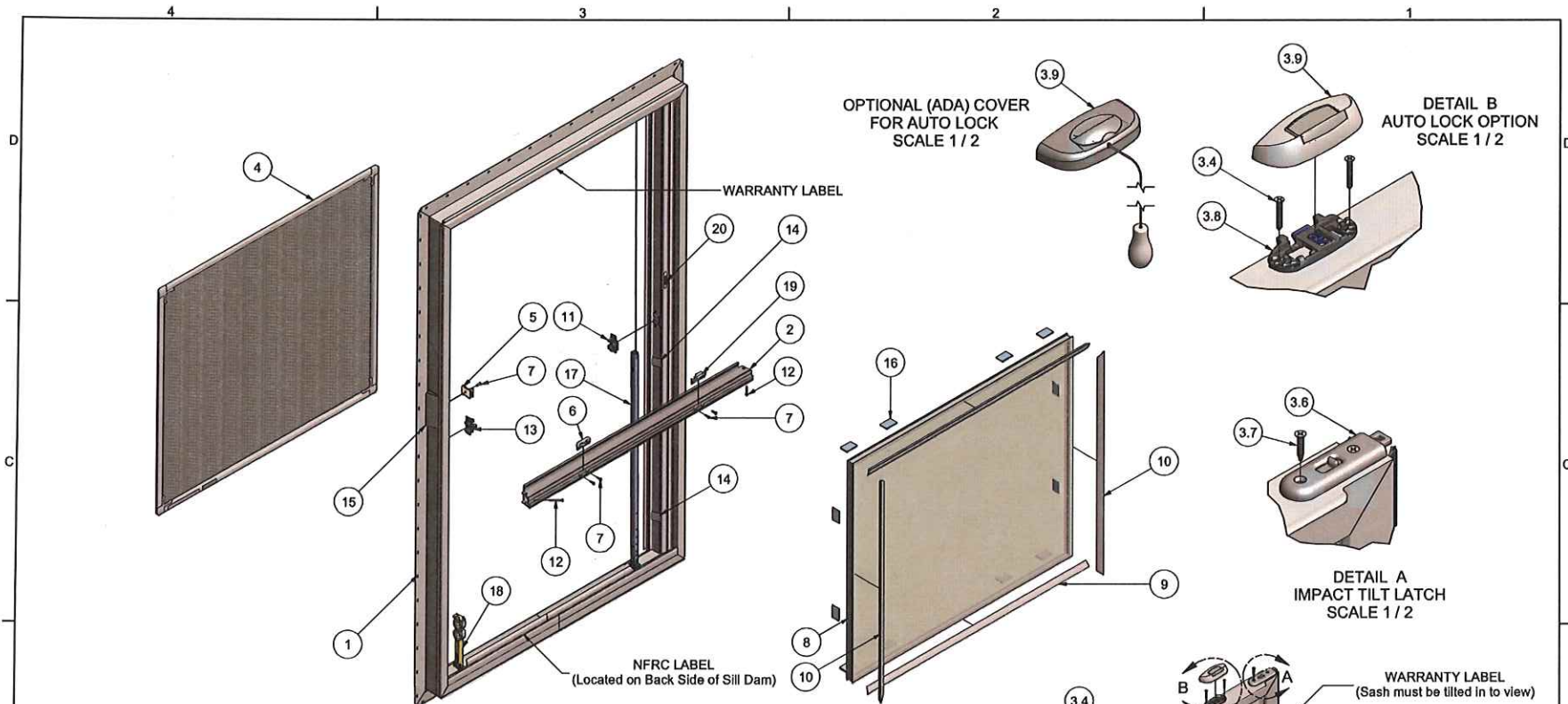
AAMA/WDMA/CSA 101/LS.2/A440-05 (NAFS-05) AAMA/WDMA/CSA 101/LS.2/A440-11 (NAFS-11)
AAMA/WDMA/CSA 101/LS.2/A440-08 (NAFS-08) AAMA 506-06



For more information, call 888-9PLYGEM.



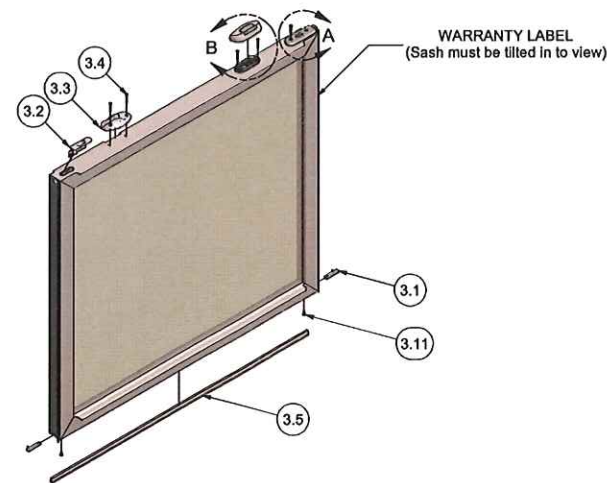
SIDING + ACCESSORIES | WINDOWS + DOORS | STONE VENEER | TRIM + MOULDINGS | FENCE + RAILING | ROOFING



NOTES:

- PART NUMBERS FOLLOWED BY (*) NEED ONLY THE COLOR SUFFIX INSERTED TO COMPLETE THE PART NUMBER.
- PART NUMBERS FOLLOWED BY (**) ARE SENSITIVE TO MORE THAN COLOR, AND INDICATES SEE B.O.M. TO COMPLETE THE PART NUMBER.
- FOR FIELD SERVICE PARTS REFER TO B.O.M. FOR FURTHER DETAILS.

PARTS LIST			PARTS LIST		
ITEM	QTY	PART NUMBER	DESCRIPTION	ITEM	QTY
1	1	N/A	Brickmould, SH, NC, Frame assy	10	2
2	1	200139XXX **	SH, Common, Meeting rail	2	200170XXX **
3	1	N/A	1500 Series Single Hung Sash	11	2
3.1	2	420129000	1500, Pivot Bar	430028010	Meeting Rail Anchor, Left, (OSLI)
3.2	1	420127XXX *	Barrel-style Composite Tilt Latch (Right OSLI)	12	2
		420128XXX *	Barrel-style Composite Tilt Latch (Left OSLI)	440039XXX *	Screw, #6x1.5" PPH, Type A
3.3	2	420126XXX *	FER Lock	13	1
3.4	4	440029XXX *	Screw, #6x 1" PPH, Vyn-L-Hold	430029010	Meeting Rail Anchor, Right, (OSLI)
3.5	1	600035XXX *	1500, SH, Lift Rail, Weatherstrip (bulb)	14	4
3.6	2	420109XXX *	Implant, Tilt Latch	200163XXX *	Screen Clip for 5/16" Screen, Single Hung
3.7	4	440018XXX *	Screw, #8 x 7/8 PH FH Self Drill, Pnt. Head	15	2
3.8	2	420144000	Autolock T-Latch Mechanism	200162008 /	Brickmould, Jamb Centering Clip / Beveled
3.9	2	420145XXX *	Autolock Zinc Cover	200161008	Jamb Centering Clip
3.10	2	420146XXX *	ADA / Autolock Plastic Cover	16	1
3.11	2	440007000	Screw, #6 x 1/2" PH modified truss head, 410 SS crypton coated	N/A	1500 Setting Blocks, Frame (See assembly Specification)
4	1	N/A	Standard 1/2 Screen Assembly	17	2
5	5	400023000	Inverted Coil Balance, Cleat	253186-XXX **	Block and Tackle Balance Assembly, Option
6	2	420130XXX *	Composite Keeper	18	2
7	6	440030XXX *	Screw, #6x 5/8" PH Vinyl lock	400019XXX **	Inverted Coil Balance (Constant Force), Option
8	1	N/A	IG Assembly, 1500, SH, Frame	19	2
9	2	200170XXX **	Flexible, Glazing Bead, Horizontal Fabrication, Sash	420147XXX *	Autolock Keeper
				20	1
				420148XXX *	Child Safety Latch (Factory Applied Only)



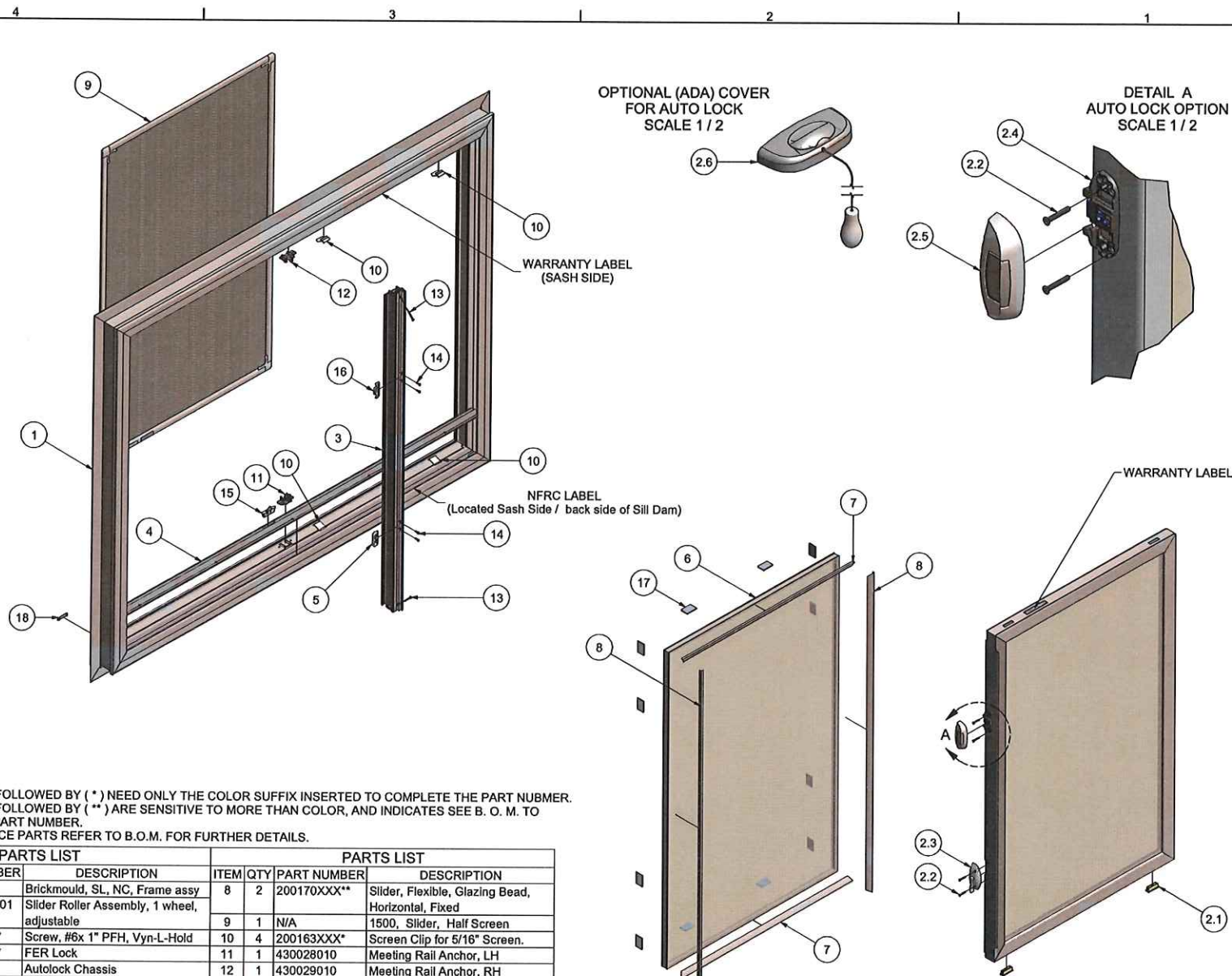
SINGLE HUNG



Dimensions Unless Otherwise Specified: All Dimensions original
 All shop corners unless indicated
 XXXX ± 0.005 XXX ± 0.015
 FRACTIONAL ± 1/64"
 ANGLES ± 1°
 FINISHES ± 0.003 per ft.
 NOTE: SEE EXCLUDED PARTS
 ARL OR TOL

REV.	ECO	REVISION	DATE	BY
A	NA	Corrected Strd. Tilt Latch part number	10/10/13	KSG
A	13-054	INITIAL RELEASE	2/14/13	KSG

DWG. FILE NAME:	EJAGSH2000.idw	REV.	A
SCALE:	None	DATE:	12/11/2012
SHEET NO.:	C	DATE:	12/11/2012
DESCRIPTION:	1500, 3D Exploded View		



HORIZONTAL SLIDER

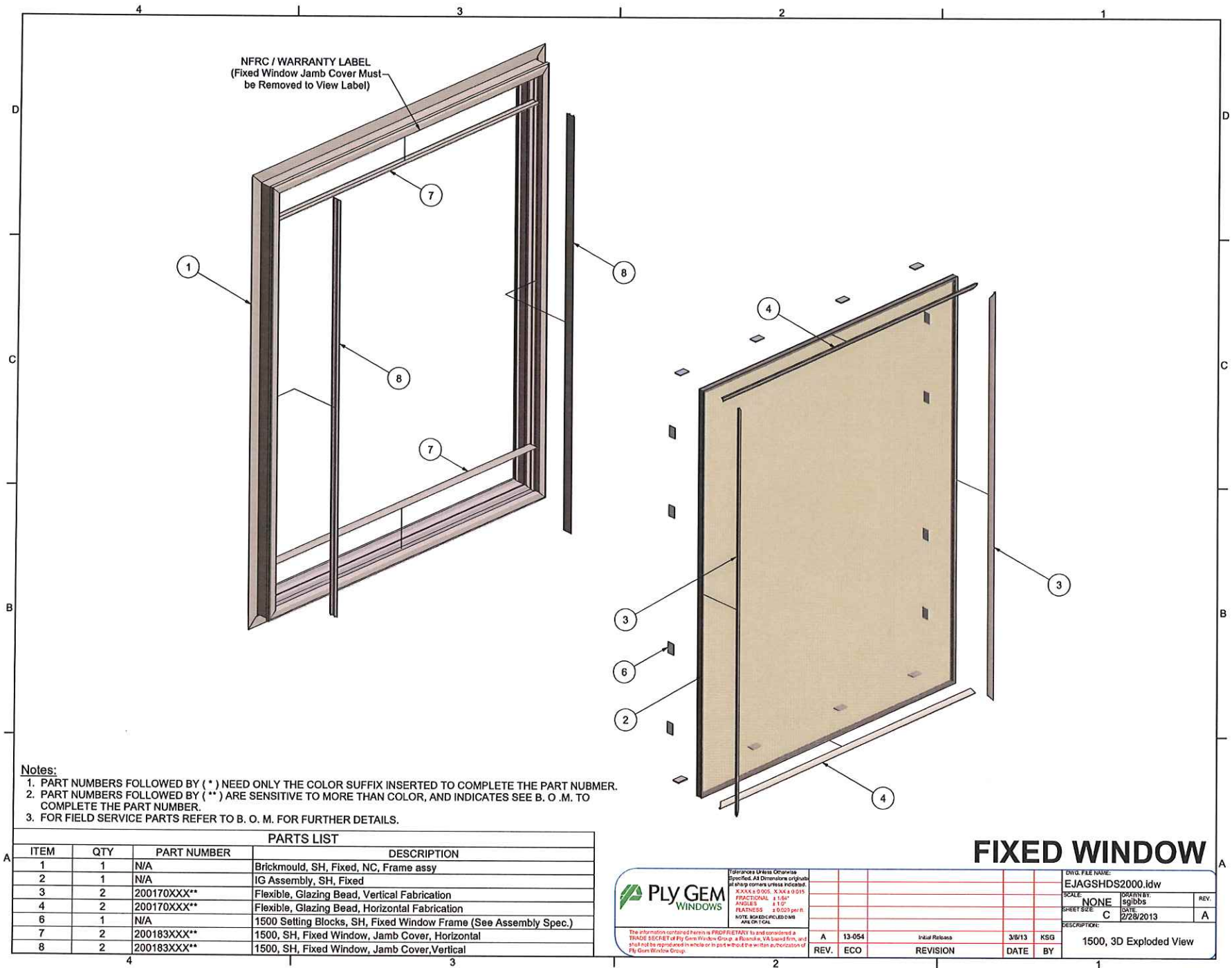
PARTS LIST				PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION	ITEM	QTY	PART NUMBER	DESCRIPTION
1	1	N/A	Brickmould, SL, NC, Frame assy	8	2	200170XXX**	Slider, Flexible, Glazing Bead, Horizontal, Fixed
2.1	2	420050000001	Slider Roller Assembly, 1 wheel, adjustable	9	1	N/A	1500, Slider, Half Screen
2.2	8	440029XXX*	Screw, #6x 1" PFH, Vyn-L-Hold	10	4	200163XXX*	Screen Clip for 5/16" Screen
2.3	2	420126XXX*	FER Lock	11	1	430028010	Meeting Rail Anchor, LH
2.4	2	420144000	Autolock Chassis	12	1	430029010	Meeting Rail Anchor, RH
2.5	2	420145XXX*	Autolock Zinc Cover	13	2	440039XXX*	Screw, #6x1.5" PPH, Type A
2.6	2	420146XXX*	ADA / Autolock Plastic Cover	14	4	440030XXX*	Screw, #6x 5/8" PH Vinyl lock
3	1	200139XXX**	Slider, Common, Meeting Stile	15	1	420148XXX*	Child Safety Latch (Factory Applied Only)
4	1	200154XXX**	1500, Single SL, Sill Track	16	2	420147XXX*	Autolock Keeper
5	2	420130XXX*	Composite Keeper	17	1	N/A	1500 Setting Blocks, Frame (See assembly Specification)
6	1	N/A	IG Assembly, 1500, SL, Frame	18	4	420027XXX*	Weep Hole Cover
7	2	200170XXX**	Slider, Flexible, Glazing Bead, Horizontal, Fixed				



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REV.	ECO	REVISION	DATE	BY
A	13-054	Initial Release	3/8/13	KSG

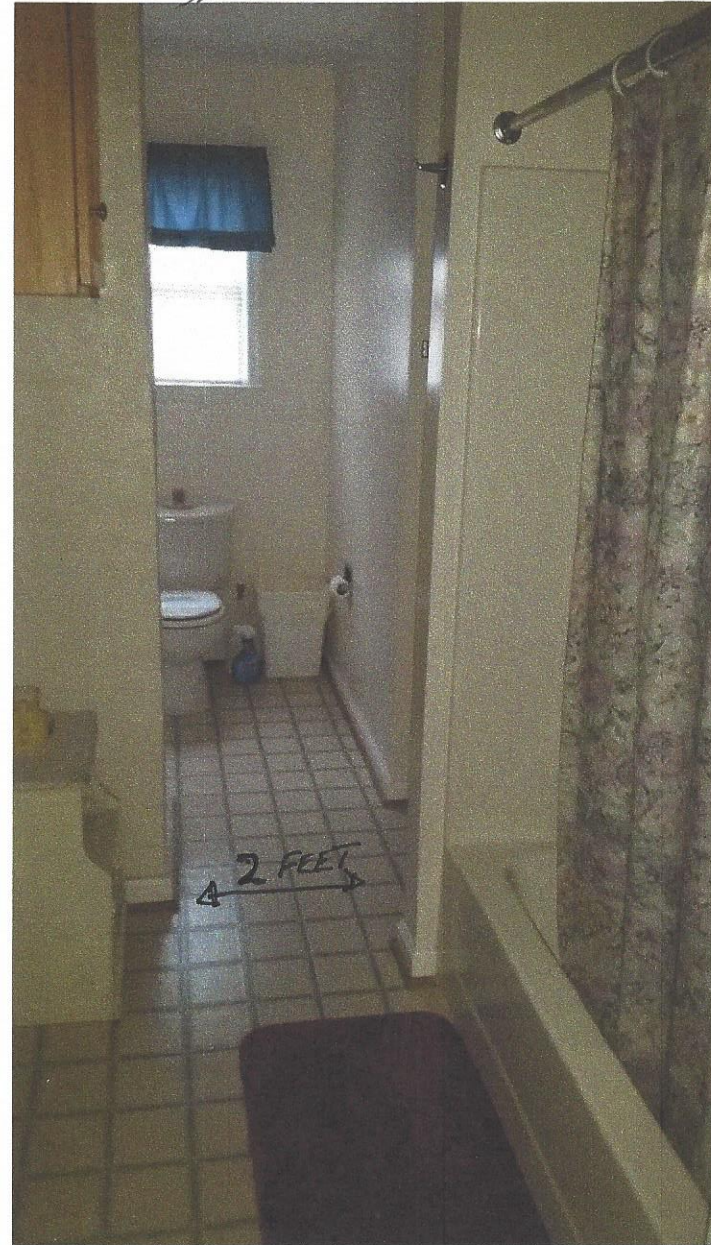
DWG. FILE NAME:		EJAGSL2000.ldw	
SCALE:	NONE	DESIGNED BY:	sgibbs
SHEET SIZE:	C	DATE:	2/25/2013
DESCRIPTION:		1500, 3D Exploded View	





REMOVE
CHIMNEY

LEAKS
AT CEILING



- REPLACE ROOF SHINGLES



- ADD
6' SIDER
TO
REPLACE
BACK
DOOR

- EXPAND COVERED PORCH
ON STRAWBERRY ST.
SIDE DOOR
NOW 7' X 4'
PROPOSED: 10' X 7'

- EXPAND + COVER DECK
ON BACK OF HOUSE
NOW: 8' X 10' NOT COVERED
PROPOSED: 19' X 12' WITH ROOF



CERTIFICATE OF APPROPRIATENESS APPLICATION

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

PERMIT CHECKLIST - all documents can be emailed to the above email

- | | |
|---|--|
| ☒ Completed application | ☐ Photos/elevations of existing structure |
| ☒ Letter of intent clearly explaining project | ☐ Photos/elevations of proposed project |
| ☐ Existing site plan or survey | ☐ Proposed materials/spec sheets, samples |
| ☐ Proposed site plan or survey (if applicable) | ☒ Payment of fees (new construction >2,000 square feet \$500; new construction up to 2,000 square feet \$300; all other \$150; modification \$250) |

PROPERTY INFORMATION

Name of Project: 301 MADISON AVE
Property Address: 301 MADISON AVE., CAPE CHARLES, VA 23310
Brief Description of Project: REPLACE WINDOWS, REPLACE ROOF, REMOVE CHIMNEY,
Zoning District: R-1 Current Use: HOME Proposed Use: HOME

OWNER INFORMATION

*ENLARGE COVERED DECK ON STRAWBERRY ST. SIDE
ENLARGE DECK ON BACK OF HOUSE AND PUT A ROOF OVERHEAD
REPLACE BACK DOOR WITH 6' SLIDING GLASS DOOR*

Name and Company: FRANK + ANDREA GIARDINA
Mailing Address: 231 BEACON DRIVE, PHOENIXVILLE, PA 19460
Phone Number: (484) 919-5518 Email: FVGIARDINA@AOL.COM

APPLICANT INFORMATION

☒ check here if applicant is owner

Name: FRANK + ANDREA GIARDINA
Mailing Address: 231 BEACON DR., PHOENIXVILLE, PA 19460
Phone Number: (484) 919-5518 Email: FVGIARDINA@AOL.COM

CERTIFICATION OF APPLICANT

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

Signature of Applicant:  Date: 3/20/2020

Note: There is a required 30-day wait period between approval of a Certificate of Appropriateness and issuance of the permit for construction.

***Frank and Andrea Giardina
301 Madison Avenue
Cape Charles, VA 23310***

March 30, 2020

Overall concept of project: Repurpose the existing building that was once an operational church into our home. The original church was built in 1949 and operated as a church until 1984 when the church was disbanded. The building sat unused until 1998 when it was purchased to be repurposed into a home. The previous owner made certain renovations and built an addition onto the original church building in 1999. There have been no improvements to the building in 20 years.

One of the issues that needs to be addressed is the date that the building was built. I have attached the research done on the original church building and show that the actual date was 1949. The research goes all the way back to the origin of the property and does show that in the mid 1930's, a small 540 SF wooden structure was built on the property and used for the original church. At that time, the land was rented until the Congregation could purchase the land on 11/12/1940. The 540 SF wooden church was used by the Congregation on the lot until 1947 when they moved it to the lot next door (Lot 194). In 1947 the Church began the construction of the current "brick & concrete" building that exists today (not including the addition that was added on by Wayne Hall in 2000) and was completed in 1949. I know the records that the Town is using show that the church portion on this property shows as a contributing structure and described as a "1930's brick & concrete block church", but our research shows undoubtedly that this is incorrect. The church portion of this building should not be considered "Noncontributing" at this time. We do realize that we need to work closely with the Town of Cape Charles on this project and need to clarify that the date this building was built was 1949. I know that this would remove this property as being "Contributing" and that may make a difference in the codes we need to adhere to for certain renovations. (See attached details of the research done). Also, certain items being addressed on our application are part of the addition built in 1999 and that needs to be considered.

We would like to bring this building and property back to life with enhancements and beautifications while working with the Town of Cape Charles in a mutually respectful fashion. Our plan includes a substantial investment into this property which stands prominently on the corner of Madison Ave. and Strawberry St. We will work with local contractors, architects, businesses and lumber yards for all aspects of this project.

Our hope is to work together with the Town so this project moves along quickly without undo delays and we deliver what will be one of the Town's most unique and interesting properties. In addition, this will greatly improve this particular section and corner of Cape Charles. And most importantly, we will create a home for our family in Cape Charles.

When we first considered buying this home, we saw a property that had become inconsistent and incohesive architecturally both inside and out. It was like two different buildings were arbitrarily attached to each other. One built in 1949 and the other built in 1998. One is made with brick and the other has vinyl siding. It was in need of someone taking the chance to buy this unique property and do something very special with it. We saw the potential for a beautiful home. Our goal will be to bring consistency and cohesiveness inside and outside to the building and property by using design experts and local talent.

Items to discuss with the Historic District Review Board:

- 1) *Replacing the windows in the “church” portion.* We had several contractors and two local architects inspect each of the 14 windows that are in this portion of the building and have found that 2 are a vinyl type window that does not maintain the shape that the other windows have (see window #7 & 8 in the attachment). For the other 12 windows, some are broke, cracked or do not maintain the same color (see the attached pictures of all 14 windows). None of the windows operate and because of the age, the sashes and framing are not properly insulated. We explored repairing, rebuilding and replacing the broken glass with local contractors, but that proved to be problematic due to the glass being old and brittle and would mean that we would have to install custom made storm windows. This would not only be financially impossible, but the addition of storm windows would take away the architectural integrity of the look that we would like to maintain. Instead, we would like to replace these with the Plygem SH 1500 replacement window which would provide the same window throughout, be fully operable and energy efficient. We have spent over 3 months looking into all options in wood, wood composite and vinyl and Plygem is only window maker that can custom make replacements that will maintain the exact look and shape (single hung where the top section does not have the separate mullion), be energy efficient and be operable. (see attachment from OBS Eastville, PlyGem window maker model SH 1500). We would use a wood composite trim that would cover a good portion of the frame and joints that are visible.

Pictures referenced were placed behind the pre-application documentation.

- 2) *Remove unused chimney.* There is an existing chimney that is sticking out of the roof of the 1999 addition. The chimney is no longer used and is just a hollow structure. It extends down through the addition in the middle of one of the bathrooms making the bathroom renovation difficult. There are signs of various leakages from over the years. We have had roof contractors look at this due to the leaks and tell us that they can continually flash and caulk the areas, but this will be an ongoing problem that will eventually create more and more water damage. We also have had a mason look at the chimney and they let us know that it is fairly easy to

disassemble the chimney. We would like the approval to remove the chimney. This chimney is not visible from Madison Ave.

Pictures referenced were placed behind the pre-application documentation.

- ~~3) Enhance and enlarge the small covered porch area on the Strawberry St side door. The current porch is just a walk-out porch which is 7' X 4' made of wood deck boards. We would like to expand the size to 10' X 7' which will allow us to sit on it. We would use the same decking material that exists now & enlarge the roof area to cover it. (see attached picture of the area)~~

Scope removed from project per Paul Grossman

- 4) Enhance and enlarge the deck on the back of the house which is now 8' X 10' made from wood deck boards. We would like to expand the size to 19' X 12' and cover the deck with a roof. We would use the same deck board material (see attached picture of the area)

Scope removed from project per Paul Grossman

- 5) Replace the back door with a glass 6' slider. The current door is a solid door with a basic storm door. We would like to replace that with a 6' sliding door. (see attached photograph)

- 6) Replace the entire roof with new architectural type roof shingles. We will use an acceptable material that is approved by the H.D.R.B. The current roof is over 20 years old and after the building inspection was done, we were made aware that the current shingles have worn out and need to be replaced. There are signs of water leakage. (see attached picture of the proposed shingles)

- 7) Replace front storm door.

Scope added to project per Paul Grossman.

Re: 301 Madison Pre-Application Meeting 4/7/20

From: Frank V. Giardina, Insurance & Employee Benefits <fvgiardina@aol.com>

To: grossman51 <grossman51@aol.com>

Cc: codeofficial <codeofficial@capecharles.org>

Date: Tue, Apr 14, 2020 11:59 am

Attachments

Cape Charles Windows...pdf (465 KB)

Hi Paul & Jeb-

Thank you for getting back to me on this. I should have a drawing back this afternoon of the deck and will send it to you to add/amend my application.

I also would like to remove the renovation to the Strawberry Street side porch - we have decided to just clean it up and fix it up.

Also - regarding the windows - I do know we have the request and supporting information to replace the existing windows with the Plygem windows specified in the application. The contractor that will do the installation work would like to take out one of the windows (the one in the very back, up on the stage, closest to the addition & facing the neighbors house - indicated as Window #14) to see what would be required to install a replacement window if that is approved. At the same time, he would be able to see what would be required to rebuild the existing window in the event that would be a better option. The window that we are looking at is the one that has the multi-colored glass & cracked/broken top piece (see attached). The contractor would fix it and replace it for now while we wait for the application process to continue. I want to ask if this is something we can proactively do so that we can get an accurate labor pricing on all options.

Thanks

Frank V. Giardina

Insurance, Financial Services & Employee Benefits

P.O. Box 606

Kimberton, PA 19442

Telephone: (610) 917-9766

Fax: (610) 917-9813

Re: 301 Madison Pre-Application Meeting 4/7/20

From: Frank V. Giardina, Insurance & Employee Benefits <fvgiardina@aol.com>

To: grossman51 <grossman51@aol.com>

Cc: codeofficial <codeofficial@capecharles.org>

Date: Tue, Apr 14, 2020 3:53 pm

Attachments

Cape Charles back de...pdf (173 KB) Cape Charles.Front D...doc (49 KB)

Hi Paul-

Attached please find a drawing for the deck on the back of the home that we would like to do. It shows the elevations along with all dimensions and that the floor boards will be perpendicular to the house. Can you please add/amend this to the application and let me know if you need any additional information for this item.

Also - Please add to our application the replacement of the current storm door and that we would like to have a full lite entry door installed in it's place. I have attached a picture and description of the door we would like to have installed. It is much nicer and more substantial than the storm door that is on there now. Please let me know if you need any additional information for this door.

Thank you and please confirm receipt of this email.

Frank V. Giardina

Insurance, Financial Services & Employee Benefits

P.O. Box 606

Kimberton, PA 19442

Telephone: (610) 917-9766

Fax: (610) 917-9813

Lot 195 and 6 feet of Lot 194
301 Madison Ave.
Cape Charles, VA

<u>GRANTOR(S)</u>	<u>GRANTEE(S)</u>	<u>DATE</u>	<u>PRICE</u>	<u>Source</u>
Wayne A. Hall Deborah Hall Sonya F. Hall	Frank Giardina Andrea Giardina	12-5-2019	\$315,000.00	Online
Wayne A. Hall Deborah Hall Glenn A. Hall Sonya F. Hall	Wayne A. Hall Deborah Hall Sonya F. Hall	5-8-2018	Gift	Online
Wayne A. Hall Deborah Hall	Wayne A. Hall Deborah Hall Glenn A. Hall Sonya F. Hall	12-15-2016	Gift	Online
Daniel P. Sheneman Jeffrey M. Lavrich	Wayne A. Hall Deborah Hall	1-11-1999	\$30,000.00	Online
Vera Ellis	Daniel P. Sheneman Jeffrey M. Lavrich	7-7-1997	\$28,000.00	Online
The Delmarva District of the Wesleyan Church	Vera Ellis	3-23-1989	\$13,000.00	DB 238, P. 92

Priscilla M. Baker	Trustees of Pilgrim Holiness Church Oscar Ewell Avery Ewell Charlie Ewell Carrie Hudgins Brooks Annie Budd Bennett Dorothy Ewell Carpenter	11-12-1940	\$10.00	DB 101, P. 1
Children of Allen S. Baker (dec'd): Allen Baker Johann Baker James Baker Susie Baker Green Sarah Baker Foulk	Priscilla M. Baker	8-5-1925	Gift	DB 83, P. 6
Allen S. Baker Priscilla M. Baker	Trustee: John T. Daniel (Deed of Trust)	6-2-1917	\$210.34	DB 73, P. 213
Trustees of William L. Scott: Matthew H. Taylor John W. Little Charles H. Strong	Allen S. Baker	1-30-1904	\$400.00	DB 83, P. 4
Heirs of Gov. Littleton Tazewell	William L. Scott	6-1883	\$55,000.00 (2,500+ acres)	Online

John Stratton, Jr.	Gov. Littleton Tazewell	1824	Inheritance	Online
Heirs of William Waters	John Stratton, Jr.	1771	?	Online
Capt. William Epes	William Waters	c. 1680	?	Online
Sir George Yeardley Colony of Virginia	Capt. William Eppes	2-3-1626	Land grant of 540 acres (Kings Creek Plantation)	Online
Native Americans	Colony of Virginia	?	.00	
God	Native Americans	?	.00	

Notes:

DB = Deed Book (located at Register of Deeds, Northampton County, Eastville, VA)

DB 238, P. 92 states that the Pilgrim Holiness Church merged with the Wesleyan Church on 6-26-1968 and that the Cape Charles Wesleyan Church was abandoned in 1984.

The Deed of 1904 was not recorded at the time of the sale but was later verified on 11-2-1925 after the death of Allen S. Baker.

**IMPORTANT DATES FOR
PILGRIM HOLINESS CHURCH/CAPE CHARLES WESLEYAN CHURCH
CAPE CHARLES, VA**

2-23-1932

Rev. William H. Vickers, Supt. of the Eastern District of the Pilgrim Holiness Churches, organizes a local mission in Cape Charles with 8 charter members.

4-1-1932

The first service of Pilgrim Holiness Mission is held at a rented commercial building on the corner of Mason Ave. and Peach St.

5-5-1935

The location of worship services changes to Strawberry St. (000 block between Mason Ave. and Randolph Ave).

1937

A small chapel (540 sq. ft.) is completed on lot 195 at the NE corner of Madison Ave. and Strawberry St. It is a frame structure. The congregation pays rent to the landowner and also assumes financial responsibility for the property taxes.

12-5-1937

The first service is held in the new chapel.

11-12-1940

Trustees of Pilgrim Holiness Church purchase lot 195 on the NE corner of Madison Ave. and Strawberry St. in Cape Charles from Priscilla M. Baker (widow) for \$10.00.

5-16-1945

Rev. William H. Vickers of Cambridge, MD drops dead after preaching a sermon at Pilgrim Holiness Chapel. He was preaching a 2-week revival at the church.

2-4-1947

Trustees of Pilgrim Holiness Chapel purchase lot 194 (adjoining lot 195 in the 300 block of Madison Ave.) for \$850.00 from the Trustees of William L. Scott. This lot is to be the location of a future parsonage.

Fall 1947

Construction begins on the second church building. The present church building is to be moved to one side of the lot and later remodeled for use as a parsonage.

11-13-1949

The first worship service is held in the new church building. The first sermon here is preached by Mary P. Garrett, current pastor.

11-27-1949

The second church building, a concrete block and brick structure, is dedicated by Rev. H.D. Dukes. This is followed by a 2-week revival which is led by Rev. L.R. Bowling. Total cost of the 2nd church building is \$16,000.00. This building was constructed by church member, Oscar Lee Ewell.

2-24-1957

PHC celebrates their 25th Anniversary. Rev. Roy Dorsett is the current pastor.

8-15-1957 through 9-12-1957

The "Church News" section of *The Northampton Times* lists no pastor for these weeks at PHC.

7-8-1958

Ground is broken for a church parsonage by Rev. W.R. Sellers.

2-7-1959

Rev. and Mrs. Sellers move into the new church parsonage.

4-26-1959

The new church parsonage is dedicated.

11-4-1962

A service is held to celebrate the burning of the mortgage for the church building.

6-26-1968

The Pilgrim Holiness denomination merges with the Wesleyan Church. The new name of this church is Cape Charles Wesleyan Church.

1984

Cape Charles Wesleyan Church disbands as a congregation.

Pilgrim Holiness To Rebuild Church

Construction Expected
To Start On Structure
Within a Few Weeks

The Pilgrim Holiness Church at Cape Charles, has part of the material on the ground for the erection of their new church on their property at the corner of Strawberry Street and Madison Avenue. Miss Mary Garrett is pastor of the church.

The present building is to be moved to one side of the lot and later remodeled for use as a parsonage. This is a frame building and the new church will be of Crete-way block construction.

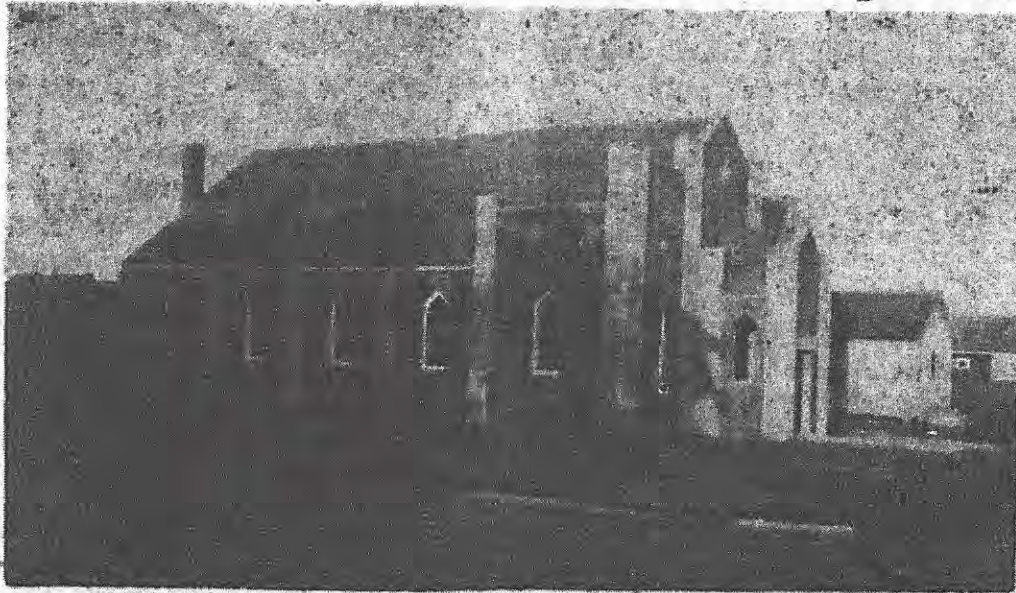
The present church was established in Cape Charles more than fifteen years ago and from it have grown churches at Quinby in Accomack County and at Exmore. The local church has also been instrumental in establishing a church at Oyster, now in a rented building.

Chairman O. L. Ewell of the Building Committee said this morning that work on the new building in Cape Charles would be under way within a few weeks.

The Northampton Times
Cape Charles, VA
June 5, 1947
p. 1

11-3-49, p. 1

Pilgrim Holiness Church Completed



The Pilgrim Holiness Church, Cape Charles, under construction since the Fall of 1947, is about complete, and the first services in the new building will be held on Sunday, November 13th at 2:30 o'clock in the afternoon. Mrs. Mary P. Garrett, Pastor, has extended invitations to all other denominations in the town and community to attend the special service. The Pastor's subject will be "The Faith of the Elders," and there will be special numbers in song by Mr. and Mrs. Charles Sorrells, of Sunbury, Pa.

The Pilgrim Holiness congregation has been conducting services in Cape Charles for about twenty years. They began holding services in various homes, later renting a store space in the business section of the town.

When the store became no longer available they secured a plot of ground on Madison avenue by renting and paying the taxes. On this plot they erected a frame building 18 by 30 feet and in 1941 the lot was purchased and title vested in the Board of Trustees of the Church.

In 1947 the adjoining lot on the corner of Madison avenue and Strawberry street was purchased, giving the property an 80 foot front and in the Fall of the same year the foundation for the 32 by 55 foot church building was laid.

Due to building restrictions progress was slow but in May of this year a program was started which now brings the building to completion. Built of CreteWay Block and Brick the completed building will have cost approximately \$12,000. But part of the labor and all contracting being handled by members of the congregation, the property has been valued at \$20,000.

Following the dedication service on the 13th at 2:30 o'clock a two-week Revival service will start at 7:30 the same evening. During this period services will be held each evening at 7:30 o'clock when the Rev. L. R. Bowling, of Greensboro, N. C., will be the evangelist. There will also be special song numbers Sunday evening by Mr. and Mrs. Charles Sorrells.

The Northampton Times
Cape Charles, VA

New Church Here Opens On Sunday

Mrs. Mary Garrett, pastor of the Pilgrim Holiness Church, here, said yesterday that all plans had been completed and the building was in readiness for the opening service in the new church Sunday afternoon, November 13th, at 2:30 o'clock.

The opening sermon will be preached by Mrs. Garrett and there will be special numbers of music by Mr. and Mrs. Charles Sorrells, of Sunbury, Pa. Mr. and Mrs. Sorrells will also remain here for the two week revival service which will start on Sunday night.

The evangelist for the revival will be the Rev. L. R. Bowling, of Greensboro, N. C., and the public is invited to attend the services which will be held each evening, except Saturdays, at 7:30 o'clock.

11-10-49
P. 1

Revival Meeting Still In Progress

The revival at the Pilgrim Holiness Church is in progress this week with Rev. Bowling as Evangelist, and Mr. and Mrs. Charles Sorrells as special singers. These workers are being enjoyed by those who are attending and the congregations have been very good.

The Services will continue the rest of the week, including Saturday evening at 7:30 o'clock. Mrs. Sorrells is conducting young people's and children's service at 7:00 o'clock. Services will also be held at 2:30 o'clock Sunday afternoon.

There is a welcome for all at these services.

11-17-49
P. 1

Dedication Service

The Pilgrim Holiness congregation will dedicate its new church building Sunday, November 27th at 2:30 o'clock in the afternoon.

The Rev. H. D. Dukes, of Denton, Md., Superintendent of the Eastern District in the Pilgrim Holiness Church, will preside and preach the dedicatory sermon. A special invitation is extended to the public to attend this service.

The revival services are still in progress with excellent attendance.

On Thanksgiving Day there will be special Thanksgiving services at 2:30 o'clock in the afternoon.

The Northampton
Times
Cape Charles, VA

12-22-49, p. 7

Pilgrim Holiness Chapel

Rev. Mary P. Garrett, Pastor.
O. L. Ewell, Sup't.

On Sunday, December 25th at 2:00 p. m. the Christmas lesson will be reviewed and then the young people will take part in a Christmas program.

At 7:30 p. m. there will be the singing of Christmas Carols and a message by the pastor on "The Birth of Christ and His Second Coming to the Earth."

You are invited to both of these services.

- REPLACE ROOF SHINGLES



- ADD
6'
SEWER
TO
REPLACE
BACK
DOOR

- EXPAND COVERED PORCH ON STRAWBERRY ST. SIDE DOOR

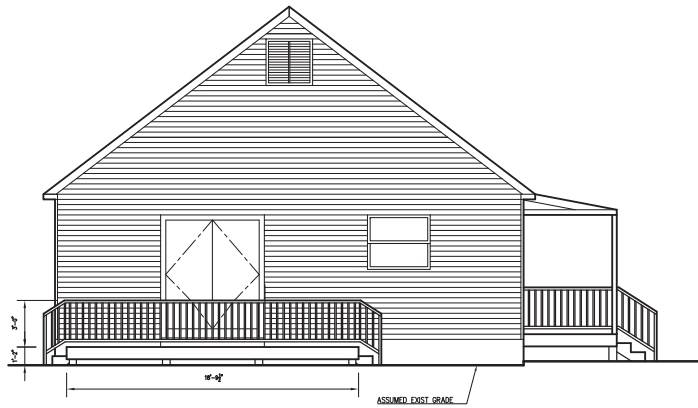
NOW 7' X 4'

PROPOSED: 10' X 7'

Scope removed from project
per Paul Grossman.

- EXPAND + COVER DECK ON BACK OF HOUSE NOW: 8' X 10' NOT COVERED PROPOSED: 19' X 12' WITH ROOF

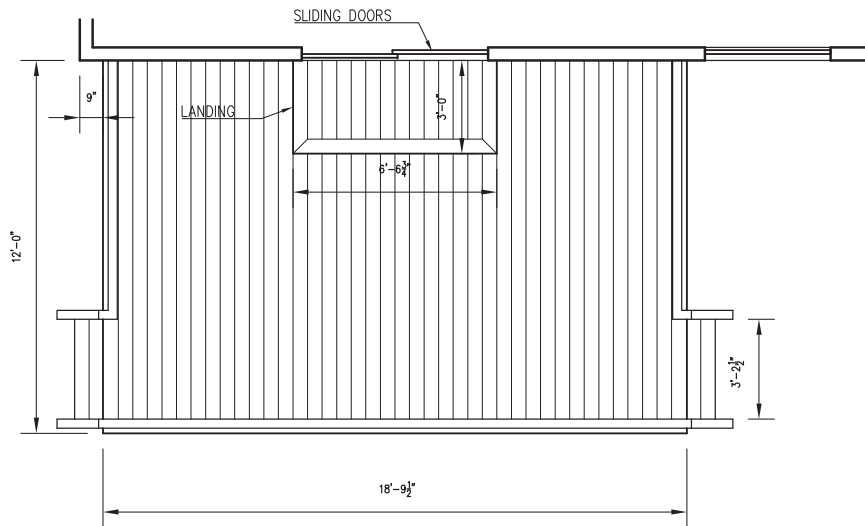
Scope removed from project
per Paul Grossman.



NORTH ELEVATION
SCALE: $\frac{1}{8}" = 1'-0"$



WEST ELEVATION / STRAWBERRY STREET
SCALE: $\frac{1}{8}" = 1'-0"$



DECK PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

Quote Information - Quote 11862769 - Manager

Company Name: LBM ADVANTAGE, INC

Sales Order:

Purchase Order: 64646446

Contractor: FRANK GIARDINA

Job Name:

Account: LB9049

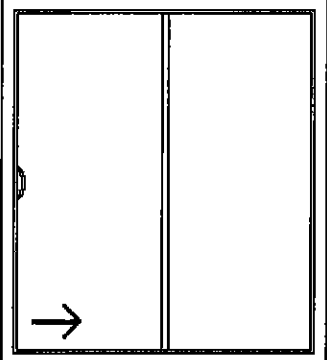
Account Name: OBS (C2 CONTRACTING)

Entered By: agreene

Status: Quote

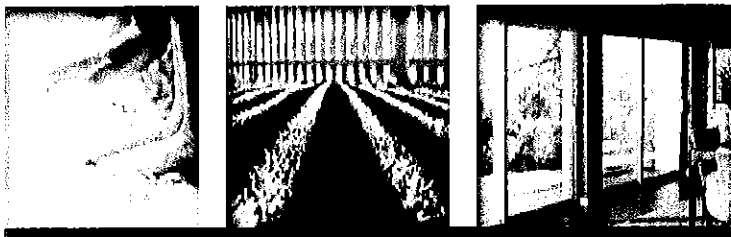
Created On: April 02, 2020

All prices subject to change without notice

Line	Qty.	Description	Size	Customers	
			(W x H)	Unit	Ext.
1	1	New Series 332 2-Lite HP Sliding Patio Door - White - Clear - Standard Low-E/Argon - Tempered - XO - Screen - Standard Mesh - Standard (Painted) (Opening Size: 71 1/2 W x 80 H , Exact Size: 70 3/4 W x 79 1/2 H) - DP50: Size Tested 71" x 96" - U Factor: 0.30, SHGC: 0.30 Meets ENERGY STAR In region(s): [NORTHERN] [NORTH-CENTRAL] 	6'-0" x 6'-8" NS	933.13	933.13
Sub Totals				933.13	
5.300% Sales Tax				49.46	
Totals	1			982.59	

A blank price indicates that the price of an item has not yet been retrieved by the system.
Select **Price Quote** to retrieve prices for items which have not yet been priced by the system.

Special Instructions:



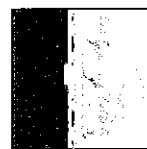
SERIES 332

SLIDING PATIO DOOR

- Easy installation in new construction applications with built-in 4 9/16" jamb
- Field reversible (6'8" height only; not available with BBG)
- DP-50 Rating great for coastal applications (on 5068, 6068 and 8068 doors)
- Deluxe color matched hardware
- Custom sizes available
- Available in 8' height
- Available in 6'8" height up to 12' wide
- Heavy-Duty Screen included*
- Limited Lifetime Warranty

CUSTOM Options

- Low-E Glass
- Low-E Glass + Argon Gas
- Ultra Low-E Glass + Argon Gas
- 5/8" or 3/4" flat, 5/8" or 1" contoured, 1 1/8" Simulated Divided Lite grids available
- Nine exterior painted colors, three interior wood laminates, bronze exterior laminate
- Brass, brushed nickel or oil rubbed bronze hardware
- Pet resistant screen*
- Multi-Point keyed lock
- Custom sizes available



Dual Point Lock
(Standard)



Brick Mould
J-Channel



Foot Bolt Lock

BLINDS Between the Glass

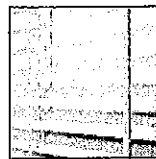
Available in 6068 with white, interior and exterior laminates and painted exterior colors. Blinds, operators and glass panels available in white only.



Easy to raise, lower and tilt blinds



Controls light and privacy



Never needs dusting and is safe for pets and children

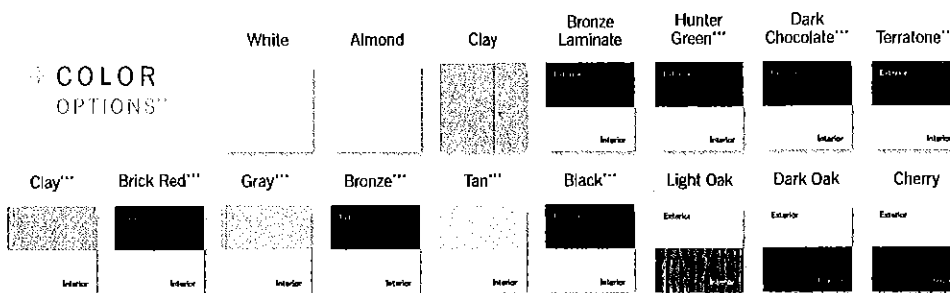


Scan to
experience
our website.



ENERGY STAR compliance available in all series. Verify product specifics before ordering.

COLOR OPTIONS**



Note: Manufacturer reserves the right to substitute components as necessary for continued product improvement.

**Screens are not meant to restrain a child from falling through an open window.

***Printing process may affect color shown. Please refer to actual window sample when selecting colors.

***Grid offering limited to 5/8" contoured or SDL on exterior painted windows. Only use mild, water based household cleaner on painted product and rinse immediately with water. See full cleaning instructions for details.



332 Vinyl Sliding Patio Door

Features:

- DP Rating R50
- Color matched handle standard
- Reversible panel design allows for moving panel to be located on left or right side (6' 8" height only)
- Aluminum track for moving panel
- Heavy duty screen comes standard
- 4 9/16" Jamb depth
- Multi-point lock
- 8' height available

Custom Options:

- Special grid options: distinctive diamond pattern; 5/8" or 3/4" flat, 5/8" or 1" contoured, 1 1/8" simulated divided lite (SDL), 5/8" contoured valance grids available
- Glass options: Low-E Glass; Low-E Glass with Argon Gas; Ultra Low-E Argon
- Light and dark shades of oak or cherry interior wood laminate and bronze exterior laminate
- Nine Painted Exterior Colors (white interior only)
- Brass, Brushed Nickel or Oil Rubbed Bronze hardware
- Available in 5', 6', 6'4", 8', 9', and 12' configurations
- Blinds between glass (6068 doors only)
- Foot Bolt Lock

Product Performance:

AAMA 101 Results:

Door Size	AAMA Rating (psf)	Air (cfm/ft ²)	Water (psf)
72" x 96"	SGD-R50	0.16	7.52
96" x 80" (Custom)	SGD-R50	0.19	7.52

Product Dimensions:

Vinyl Wall Thickness:

Frame: 0.090"

Sash: 0.080"

Glass Thickness: 0.875"

Jamb Depth: 5.633"

Nail Fin Setback: 4.563"

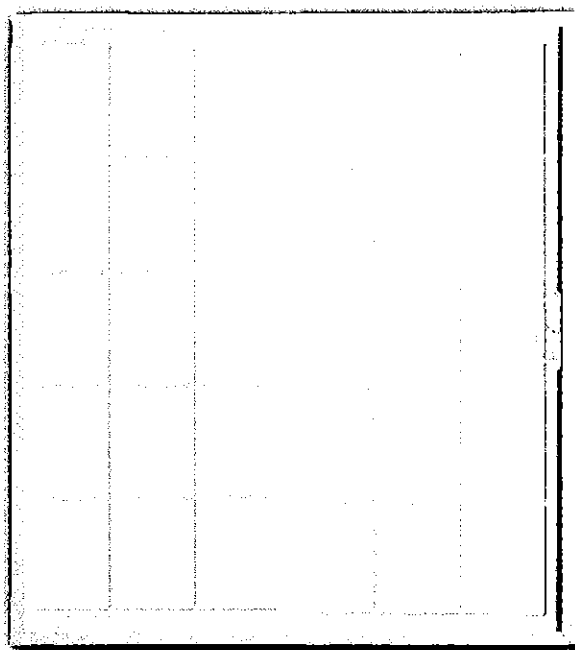
Rough Opening:

Door Width + 3/4"

Door Height + 1/2"

Size Restrictions for Custom Doors:

	Min:	Max:
Width	58 3/4"	94 3/4"
Height	70 1/2"	95 1/2"



332 Vinyl Sliding Patio Door

Egress Formulas:

Egress Width $\geq 20"$ and Egress Height $\geq 24"$ and Egress Area $\geq 5.7 \text{ ft}^2$ required to meet egress.

Egress Width Formula: $5' = 22.75"$
 $6' = 28.375"$
 $6'4 = 32.375"$
 $8' = 40.75"$

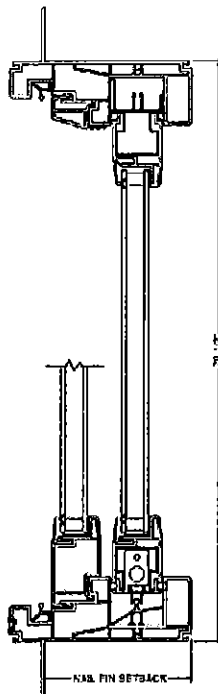
Egress Height Formula: $6'8" = 75.5"$
 $8' = 95.5"$

Egress Area Formula = (Egress Width x Egress Height)/144

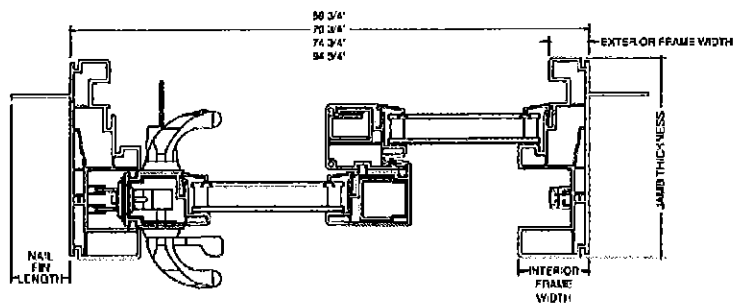
Screen Sizes:

5068 = $30 \frac{1}{2}" \times 77 \frac{1}{2}"$
 6068 = $36 \frac{1}{2}" \times 77 \frac{1}{2}"$
 6468 = $38 \frac{1}{2}" \times 77 \frac{1}{2}"$
 8068 = $48 \frac{1}{2}" \times 77 \frac{1}{2}"$
 5080 = $30 \frac{1}{2}" \times 93 \frac{1}{2}"$
 6080 = $36 \frac{1}{2}" \times 93 \frac{1}{2}"$
 6480 = $38 \frac{1}{2}" \times 93 \frac{1}{2}"$

Vertical Diagram



Horizontal Diagram



10
Year

SureStart™
Protection

10
Year

StreakFighter™
Algae-Resistance
Warranty

130
MPH

Wind Warranty*



*Mist White and
Silver Birch are
Energy Star rated.

Read more about the shingles on the website or call 1-800-854-2222. The color, texture and appearance of the actual shingles may vary slightly from the color shown in this brochure. All colors may not be available in all areas. ©2010 CertainTeed. All rights reserved. *See website for details.

See local retailer for pricing, details and availability.

LANDMARK®

Designer Shingles



Made in USA

Shown In Weathered Wood

Atlantic Blue
Hunter Green

Burnt Sienna
Mist White†

Charcoal Black
Noire Black

Cobblestone Gray
Mojave Tan

Colonial Slate
Pewter

Coltage Red
Resawn Shake

Driftwood
Silver Birch†

Georgetown Gray
Sunrise Cedar

Heather Blend
Weathered Wood

Featured Color:
COLONIAL SLATE

WinterGuard®

Waterproofing design enhancement
designed to prevent leakage due
to water backing from ice dams or
wind-driven rain.

DiamondDeck® and RoofRunner®

CertainTeed offers two options in high
performance underlayment. Both are
manufactured to provide best-in-class
performance in terms of both weather
protection and contractor safety.

Ask your contractor about the complete
Integrity Roof System™ from CertainTeed.



This Energy Star qualified 1-3/4 in. door is pre-assembled in a fully weather-stripped frame for easy installation. The door is assembled with 3 bronze hinges and adjustable black finish sill. The door and frame are primed and ready to finish in a color of your choice.

- Top quality fiberglass with polystyrene core construction provides energy efficiency and security
- Low maintenance fiberglass doors resist denting, cracking and warping
- Interlocking stile edge provides structural rigidity
- High performance bronze weather stripping and adjustable black sill provides a tight seal against drafts
- Assembled with low-E tempered glass for energy efficiency
- Door is doubled bored for lockset with deadbolt for added security
- Primed smooth surface ready for painting
- Prehung 4-9/16 in. primed frame for easy installation with 4 in. wall construction
- Requires rough opening of 34 in. x 82 in., actual unit size 4-9/16 in. x 33-1/2 in. x 81-1/2 in.
- From the outside door opens toward inside of home with hinges on the left
- Energy star compliant

Specifications

Dimensions

Door Height (in.) 80
Door Thickness (in.) 1.75
Door Width (in.) 32
Jamb Size (in.) 4-9/16"
Rough Opening Height (In.) 82
Rough Opening Width (In.) 34

Details

Bore Type Double Bore
Color Family White
Color/Finish White Primed
Door Configuration Single Door
Door Glass Insulation Low-E
Door Handing Left-Hand/Inswing
Door Style Beach Style,Classic,Tropical
Door Type Exterior Prehung
Features Lockset Bore (Double Bore),Tamper-Proof Hinges,Weatherstripping
Finish Type Primed
Frame Material **Wood**
Glass Caming Finish No caming
Glass Layout Full Lite
Glass Shape Rectangle Lite
Glass Style Clear
Hinge Finish Bronze
Hinge Type Standard
Material Fiberglass
Number of Hinges 3
Number of Lites 1 Lite
Panel Type No panel
Suggested Application Front

SURVEYORS' CERTIFICATION
 I, CRAIG P. CROCKETT, A LICENSED LAND SURVEYOR, HEREBY CERTIFY THAT THIS PLAT WAS MADE BY ME AT THE REQUEST OF THE OWNERS AND THAT THIS SURVEY IS ENTIRELY WITHIN THE BOUNDARIES OF LAND COVERED BY THE DEED DESCRIBED HEREON AND THAT MONUMENTATION IS ACTUALLY IN PLACE OR WILL BE SET AT POINTS MARKED AS SHOWN HEREON AND THAT THE LOCATIONS ARE CORRECTLY SHOWN. THIS SURVEY IS CORRECT AND COMPLES WITH THE MINIMUM PRECISION AND STANDARDS ESTABLISHED BY THE VIRGINIA BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, CERTIFIED INTERIOR DESIGNERS, AND LANDSCAPE ARCHITECTS. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.

GENERAL NOTES:

1. OWNERS: SONJA F. HALL, DEBORAH S. HALL, & WAYNE A. HALL

2. SOURCE OF TITLE: INST. 18000670

3. TAX PARCEL: 83A1-1-195

4. A SURVEY WAS PERFORMED ON THIS PROPERTY IN OCTOBER 2017 WITH A BOUNDARY CLOSURE WHOSE PRECISION EXCEEDS 1:10,000.

5. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY NOT SHOW ANY/all EASEMENTS OR RESTRICTIONS THAT MAY AFFECT SAID PROPERTY AS SHOWN OR WETLANDS, ENVIRONMENTAL HAZARDS, CEMETERIES AND UNDERGROUND STRUCTURES NOT OBSERVED DURING THE COURSE OF THE SURVEY.

6. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 5113C-0551, DATED 01-02-15, THE PROPERTY SHOWN HEREON LIES IN FLOOD ZONE X.

7. PLAT REFERENCES:
 D.B. 41, P. 484 (PLAT)
 P.B. 4, P. 78

8. AREA: 6,140 SQ. FT. (0.148 AC.)

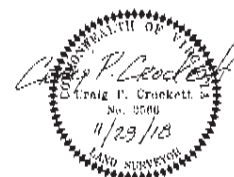
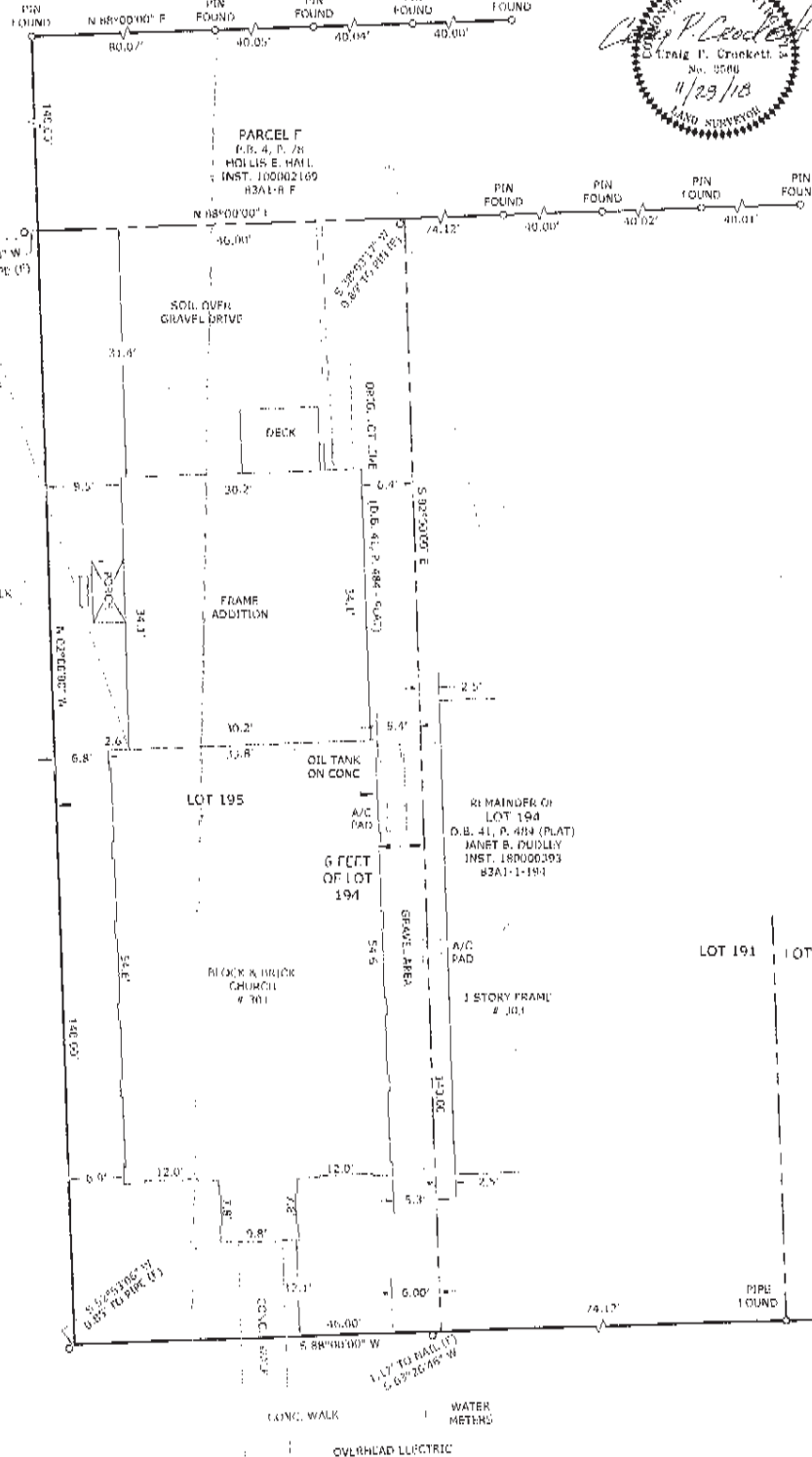
APPROVED

[Signature]
 LARRY HILL
 DIRECTOR OF PLANNING
 CAPE CHARLES, VA.

11/28/18
 13A12

STRAWBERRY STREET (70' R/W)

JEFFERSON AVENUE (70' R/W)



PHYSICAL SURVEY
LOT 195
 & THE WESTERNMOST 6' OF
LOT 194
 MAP OF THE TOWN OF
CAPE CHARLES

CAPEVILLE DISTRICT
 NORTHAMPTON COUNTY, VIRGINIA
 SCALE: 1" = 10' NOVEMBER 26, 2018



MADISON AVENUE (70' R/W)

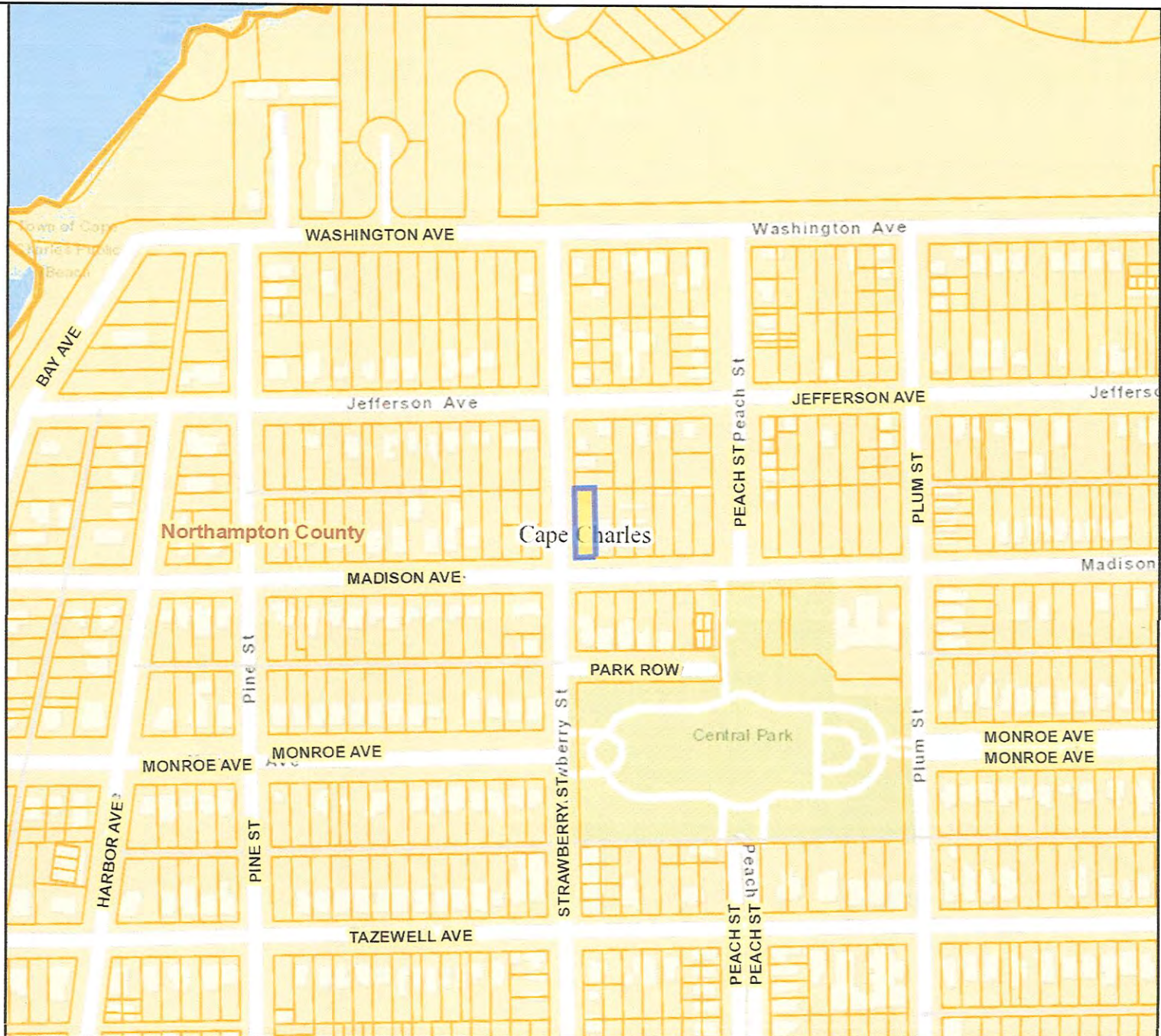


POINT NORTH
 POINT NORTH SURVEYING LLC
 P.O. Box 701 (252) 205-3008
 Onley, VA 23108 pointnorthsurveying@gmail.com
 CRAWLEY CROCKETT LICENSE # 18, P. 7
 CRAWLEY CROCKETT DATE 11/29/18

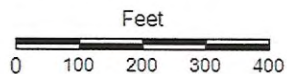
Northampton County, Virginia

Legend

-  County Boundaries
-  Town Names
-  Route Numbers
-  Road Labels
-  Parcels
-  Driveways



Map Printed from Northampton
<http://northampton.mapsdirect.net/>



Title:

Date: 4/7/2020

DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and Northampton County is not responsible for its accuracy or how current it may be.